



UNIVERSITY *of* WISCONSIN
LA CROSSE

WITTICH HALL RENOVATION

APPENDICES 3 AND 4
VOLUME 3 OF 3

DFD Project No. 14120

FINAL DRAFT

November 1, 2016



Page Intentionally Left Blank

TABLE OF CONTENTS

APPENDIX 3 - FACILITY CONDITION ASSESSMENT

APPENDIX 4 - ROOM DATA SHEETS

Page Intentionally Left Blank



UNIVERSITY *of* WISCONSIN
LA CROSSE



WITTICH HALL RENOVATION
FACILITY CONDITION ASSESSMENT
APPENDIX 3

DFD Project No. 14120

FINAL DRAFT

November 1, 2016

Page Intentionally Left Blank

TABLE OF CONTENTS

A. FACILITY ASSESSMENT EXECUTIVE SUMMARY

- i. Overview
- ii. Analysis Method
- iii. Rating System
- iv. Building Conditions Summary
- v. Functional Analysis
- vi. Required Reinvestment Analysis

B. INTERIOR CONDITIONS

- i. Interior Condition Plans
- ii. Interior Conditions Summary
- iii. Expanded Facility Assessment Matrices / Photography
- iv. Floor Elevation Maps

C. STRUCTURE / SHELL

- i. Exterior Condition Elevations
- ii. Facility Assessment Matrices / Photography

D. ENGINEERING AND ENVIRONMENTAL SERVICES

- i. Facility Assessment Matrices / Photography

Page Intentionally Left Blank

SECTION A – EXECUTIVE SUMMARY

Page Intentionally Left Blank

FACILITY ASSESSMENT EXECUTIVE SUMMARY

OVERVIEW

GENERAL BUILDING DATA

Wittich Hall was the second building constructed on the UW LaCrosse campus. The building was originally constructed to provide a male physical education facility for the school. The original portion of the building was designed by the local firm of Parkinson & Dockendorff and was constructed in 1916. The building contained a pool, a large gym with suspended running track, locker rooms and classrooms. The addition was completed in 1931, and housed an additional gymnasium, additional women's locker room, and a pool. The building currently sits in the middle of the UW LaCrosse campus. The building is approximately 55,497 gsf. It has (3) floors above grade and (1) floor that is partially below grade. The floors are connected by 4 open stairways. There has been minimal remodeling of the building over the years. In 1970 the 1916 pool was infilled, offices were built on the first floor, and the skylights were closed off. In 1978 the East and West exterior ramps were added to the building along with an elevator. Then in 1985 the roof was replaced along with the skylights in the 1930's addition. It functions today as offices and houses the UW LaCrosse gymnastics team.

FCA PROCESS

A detailed facility condition assessment was performed on Wittich Hall as part of the 10% design report. The facility condition assessment gauged the usefulness and longevity of the building. The assessment looked at the physical condition of the building and compiled it into a summary of the "required reinvestment" of the building.

Physical Analysis

The physical analysis as a whole is subdivided into individual categories that could be studied independently and allow efficient data collection. The categories are: Interiors; Structure/Shell; Engineering and Environmental Services. The physical assessment evaluated the interior spaces on a room-by-room basis, and a building-wide level for the other major components. The format for the data collection was based on the "Uni-format" system of categorizing building components and the UW System grading metric was used for measurement of the quality of the system. In many cases, photographs of graded items were taken and catalogued in this report.

The results are merged in this summary to create a picture of the current condition of the building. The purpose of this portion of the assessment was to evaluate the

physical condition of spaces within the building, as well as highlight issues related to mechanical, electrical, and plumbing equipment, structures, exterior skin, accessibility, energy efficiency, and safety.

Required Reinvestment

The physical analysis was compiled into an overall rating for the building. It estimated the amount of "required reinvestment" that would need to occur to bring the building up to a modern standard.

The analysis looked at six major systems of the building: Structure, Envelope, HVAC, Plumbing / Fire Safety, Electrical / Tele-Data, and Interior Fit-Out. Each one of these systems was given a number of allowed points and is proportional to the cost of that system within a new building. Based on historical data, the structure typically accounts for 15%, the envelope 25%, the HVAC 20%, Plumbing / Fire Safety 5%, Electrical / Tele-Data 10%, and Interior Fit-Out 25% of a total building cost.

Based on the physical analysis that was performed, each of the systems was given a number of points based on the approximate required reinvestment of that system. For example, if the Structure received 10 points of the 15 points possible, it would require 5 points or 33.3% reinvestment in that system.

Results

The information amassed during the process of this assessment and summation in a "Required Reinvestment Rating" allows the planning team to make informed decisions about the reuse of the existing space, the extent of remodeling required to bring the building up to modern standards, and the types of program functions that the existing space can accommodate. The assessment, along with input from University staff, also aids in development of solutions to existing problems that are only made possible by the execution of large scale projects.

The Facility Assessment is designed to build consensus about the appropriateness of proposed renovation of spaces within the existing complex.

WALMS REPORT

The WALMS report which identifies the scope of hazardous material abatement that will be required prior to demolition was not available from the Division of Facilities Development. It is assumed that due to the age of the building, a significant amount of asbestos is present in the building. This will be verified by the design team prior to the completion of construction documents.

FACILITY ASSESSMENT EXECUTIVE SUMMARY

PHYSICAL ANALYSIS METHOD

STRUCTURE – FOUNDATIONS AND SLABS ON GRADE (UNI-FORMAT MAJOR GROUP ELEMENT A)

Since the foundations are not visible, a visual inspection of the interior side of the basement walls and the top surface of the slabs on grade was made.

SHELL – SUPERSTRUCTURE AND EXTERIOR SKIN (UNI-FORMAT GROUP B)

Superstructure: Visual inspection of portions of the structure that were visible. Looked for signs of distress from structure movement.

Exterior Skin: Analysis of original as-built documents of building details as well as ground level inspection of the façade was performed. The condition as it pertains to basic function was analyzed as well as estimating the thermal performance of the skin based on the original composition of the walls. R-values for the walls were established using the American Society of Heating, Refrigerating, and Air-Conditioning Engineers (ASHRAE) R-values of building materials from their 1997 Handbook of Fundamentals.

INTERIORS – (UNI-FORMAT MAJOR GROUP ELEMENT C)

The team spent time going through the interior spaces of the building to perform a room-by-room evaluation of the various items that define the quality of the space. Photographs were taken in each room of the general area and of particular items where conditions were most easily described with photographs. The evaluation went beyond mere condition reporting into an evaluation of various architectural issues:

- Presence or likely presence of asbestos containing materials such as floor tiles, counter tops, and other existing finishes
- Non-compliance with current ADA standards (American National Standards Institute A117.1) and other accessibility or life safety issues.

SERVICES – MEP, FIRE PROTECTION, LOW VOLTAGE SYSTEMS (UNI-FORMAT MAJOR GROUP ELEMENT D)

- MEP: A walkthrough inspection was done by our engineers of the mechanical, electrical, and plumbing systems in the building.
- Fire Protection: A full fire sprinkler system is not in place in the building. Assessment of the fire alarm system was also done.

EQUIPMENT AND FURNISHINGS (UNI-FORMAT MAJOR GROUP ELEMENT E)

- Included as part of the interior assessment and documented in Interior Conditions Section

PHYSICAL ANALYSIS RATING SYSTEM

As each category of the facility was analyzed, each component was graded using the format provided by UW System. The item was given a number based on its condition from one to seven.

- Items graded one or two are in generally good condition and can remain in use with some or no maintenance or renovation. They are color-coded green (see chart)
- Items graded three or four are in the fair or poor condition and can only remain in prolonged use or occupation with moderate to significant renovation. They are color-coded yellow.
- Items graded five, six, or seven have reached the end of their useful life. Remediation of items in this condition requires major renovation or repair to complete removal or replacement. They are color-coded red.

Code	Rating	Action Required	Rating Description
1	Good	Minimal Renovation	Suitable for continued use with normal maintenance. The approximate renovation cost is less than five percent of the space / system replacement value.
2	Satisfactory	Limited Renovation	Requires restoration to present acceptable conditions. The approximate cost of restoration is 5-15 percent of the space / system replacement value.
3	Fair	Moderate Renovation	Requires updating or restoration. The approximate restoration cost is 15-30 percent of the space / system replacement value. The physical conditions may have an affect upon building operations.
4	Poor	Significant Renovation	Requires significant updating or restoration. The approximate restoration cost is 30-45 percent of the space / system replacement value. The physical conditions adversely affect building operations.
5	Unsatisfactory	Major Renovation	Requires major restoration with possible need to overhaul building subsystems. The approximate restoration cost is 45-60 percent of the space / system replacement value. Consideration of actual restoration requirements may lead to classifying the facility as being in need of replacement.
6	Replace/ Demolition	Demolition or Abandonment	Should be demolished or abandoned because the building is unsafe and/or structurally unsound, irrespective of the need for the space or the availability of funds for replacement. Additionally, this category takes precedence over categories 1-5. If a building is scheduled for demolition, its condition is reported in this category, regardless of condition.
7	Termination	Termination or Relinquishment	Planned termination or relinquishment of occupancy of the building for reasons other than unsafeness or structural unsoundness, such as abandonment of temporary units or vacating of leased space. Additionally, this category takes precedence over categories 1-6. If a building is scheduled for termination, its condition is reported in this category, regardless of its condition.

RATING TABLE

FACILITY ASSESSMENT EXECUTIVE SUMMARY

PHYSICAL CONDITIONS SUMMARY

The physical analysis studied individual systems based on three major categories:

- Interiors
- Structure / Shell
- Engineering and Environmental Services.

The physical assessment evaluated the interior spaces on a room-by-room basis, and a building-wide level for the other major components.

Interiors

The majority of interior spaces within the building fall into the “Poor,” “Unsatisfactory,” or “Replace / Demo” condition ratings, which suggests that significant or major renovations are required to restore the space to a modern standard.

4% of spaces within the building qualify for the “Good” and “Satisfactory” ratings which generally means that use of those spaces can continue uninterrupted with minor maintenance and repairs. 95% of spaces, however, are imminently in need of renovation and or replacement.

Refer to the rating table for a key of the condition ratings. Refer to the building interior condition pie chart showing the percentage of building area assigned to each condition rating.

Structure

The structural frame is generally concrete pan joist with clay tile forms with a 2” concrete slab with an approximate 3” cinder concrete topping.

Like many buildings with the structure being a static element, it is generally the least concern of the building. Most of the structural elements were given a “Good” or “Satisfactory” rating. Until a comprehensive remodel is pursued, little will need to be maintained or modified in the existing structural system. Once a comprehensive remodel is complete, some modifications will be necessary in order to account for additional snow or live loading criteria in effect with the current code.

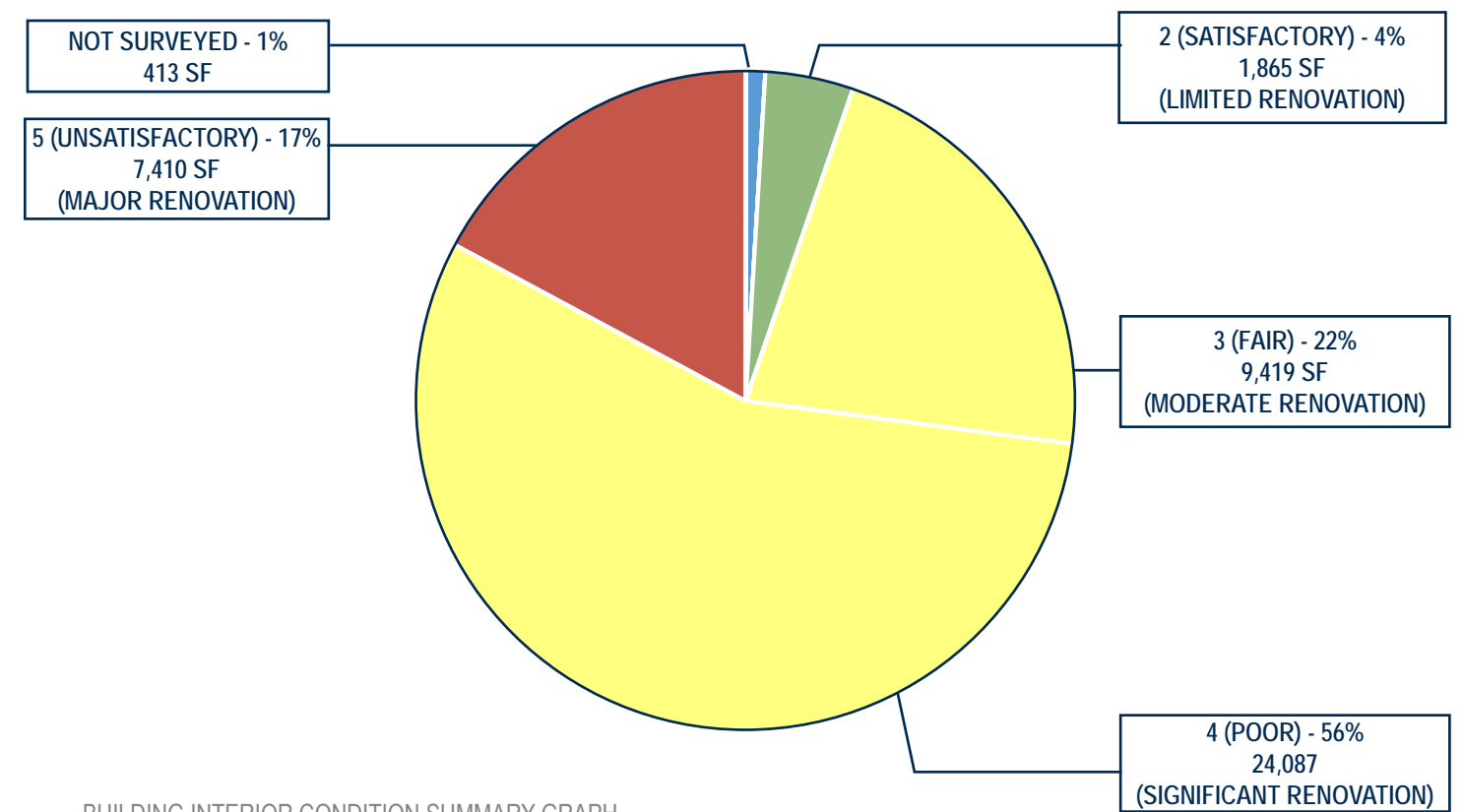
Shell

The exterior façade is generally in good shape. Both the brick and cut stone are generally in very good condition with the exception of flashing and joint conditions at the parapet.

The original windows and glazing systems are generally in poor condition. There are areas of newer infill systems, including glass block, aluminum framed windows, and aluminum storefront entrance systems that area in better condition and are serviceable but are not historically accurate.

Engineering and Environmental Services

The major mechanical, electrical, and plumbing systems have the greatest degree of obsolescence. Virtually all of the systems are original to the building and have exceeded their useful life, and been given either an “Unsatisfactory” or “Replace / Demolition” rating. A few anomalies have been noted. A fire alarm system was installed in 2004 and is still in useful condition. The building also has an exterior pad-mounted electric transformer that is in good condition and could be reused.



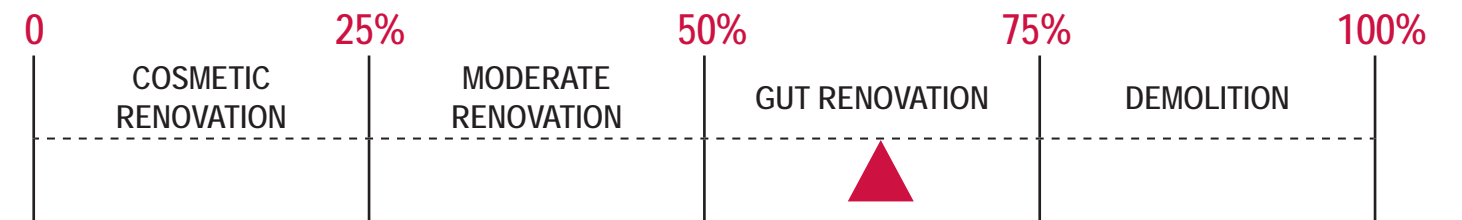
BUILDING INTERIOR CONDITION SUMMARY GRAPH

FACILITY ASSESSMENT EXECUTIVE SUMMARY

REQUIRED REINVESTMENT ANALYSIS

Pts. Poss.	Pts. Rec'd.	System	System Assessment
15	5	Structure	<ul style="list-style-type: none"> Clay tile floor system, well constructed and in good condition (2) Cast concrete in the 1930's building is in good condition but is slated for removal. (2) Cast concrete in both buildings is not spalling or cracking, very good condition (1) No cracking in the exterior brick bearing walls indicating no differential settlement (2) Roof structure is not rusted or missing any bolts, in very good condition (1)
25	11	Envelope	<ul style="list-style-type: none"> Exterior doors are newer, but are not historically accurate for the building (3) Replace entire roofing system and all flashings (5) Wood windows are mostly original to the building - refurbish or replace (4) Masonry and limestone needs to be cleaned and needs some repair in a few locations (3) Skylights require replacement (6)
40	16	SUBTOTAL	
20	17	HVAC	<ul style="list-style-type: none"> Original piping is not salvageable, end of useful life (5) Exhaust fans are in various state of condition and are not salvageable (6) Small packaged DX fan coil units serving first floor and basement (3) No chilled water system, installed DX cooling fan coils serving basement and first floor are at the end of their useful life (6) Air handling units are original, minimal outside air, supply ductwork is original and not insulated (6)
5	5	Plumbing / Fire Safety	<ul style="list-style-type: none"> Domestic water piping and equipment is original to the building and not salvageable (5) Plumbing fixtures, some original, some renovated; end of useful life (5) Sanitary sewerage piping and equipment, not salvageable (5) Stormwater piping and equipment not salvageable (5)

Pts. Poss.	Pts. Rec'd.	System	System Assessment
10	7	Electrical / Tele-Data	<ul style="list-style-type: none"> Detection & Alarm - Simplex 4100U voice evacuation system installed 2004 with notification and initiation devices installed throughout building. - Good. Unless the campus standard has changed, the main control panel is good candidate for reuse. (2) Exterior pad mounted transformer (1) Interior service entrance equipment, end of useful life (4) Lighting and egress lighting, inefficient and requiring upgrade (5) Branch panel boards, some original, some newer, clearance issues (4)
35	29	SUBTOTAL	
25	17	Interior Fit-out	<ul style="list-style-type: none"> Existing floors are very uneven and will require extensive leveling (4) (Mainly Lower Level) Half of the Stairways do not meet code required widths for the new occupant load (5) Much of the interior wood trims are in fair condition (3) Majority of finishes are original to the building and likely contain asbestos and lead (4) Restrooms are in good shape, however don't meet ADA standards (4) Portions of the first floor office areas have been remodeled (2) Existing locker rooms are usable but dated (3) Most casework and furnishings are beyond their useful life (4) Plaster ceilings and walls are peeling and need repair in many locations (5)
25	17	SUBTOTAL	
100%	62%	Total Required Reinvestment	



The numbers in parentheses are summary ratings of that component, using the scale and definitions listed on page A4

SECTION B – INTERIOR CONDITIONS

Page Intentionally Left Blank

INTERIOR CONDITIONS

INTERIOR CONDITION SUMMARY

The majority of interior spaces within Wittich Hall fall into the “Poor,” “Unsatisfactory,” or “Replace / Demo” condition ratings, which suggests that significant or major renovations are required to restore the space to a modern standard.

4% of spaces within the building qualify for the “Good” and “Satisfactory” ratings which generally means that use of those spaces can continue uninterrupted with minor maintenance and repairs. 95% of spaces, however, are imminently in need of renovation and or replacement.

The building generally lacks ADA compliant door hardware.

The following pages show floor plans with individual rooms color coded with their respective ratings.

Offices

There has been little reinvestment in the office spaces of the building since the building was originally constructed. There was a remodel done in 1970 that filled in the 1916 pool and built offices on the first floor of that area. Sometime after that the first floor conference room 104 was converted into offices, along with a portion of the original first floor men’s locker room. The offices are generally in “fair” condition, and there are a few remodeled offices on the first floor that are in “good” condition.

Locker/ Restrooms

There has been very little reinvestment in the restrooms and locker rooms for the building. Finishes in the locker rooms are generally original to the building, including all of the lockers and benches. The tile is original and in “fair” condition, however due to the age, the mastic is assumed ACM and will need to be removed. There have been some ADA upgrades made in some locations, but they generally do not meet current ADA standards.

Gymnasiums / Pool

There has been little reinvestment in the gymnasiums of the building. The finishes of the existing gymnasiums are generally original to the building. The floors are sealed maple wood flooring and are in “fair” condition. These could be potentially repurposed or reused somewhere in the new construction. The exposed structure is painted and still in “good” condition. There is brick wainscoting at the exterior walls with a wood molding separating the brick from the plaster walls above. The interior plaster walls

and ceilings are peeling in some locations throughout the floor.

The pool is original to the building. All of the tile is in “fair” condition however, being original to the building, the mastic is assumed ACM and will need to be removed. The pool is no longer being used and is empty and walled off at the time of observation.

Public Spaces

Most of the finishes in the public spaces are original to the building. The painted terrazzo flooring in the hallways and stairways is cracked and worn down in many places, and is in “unsatisfactory” condition. There are wall mounted railings in the corridors that are unnecessary and should be removed. Floor tile in some of the main hallways is in “fair” condition, however it likely contains ACM and should be removed.

The wood molding and trim in the hallways is in “fair” to “poor” condition depending on the location and could be repurposed. Many of the spaces auxiliary to the gymnasiums on the second floor have areas with finishes that are “unsatisfactory” and should be replaced.

INTERIOR CONDITIONS

INTERIOR CONDITION PLANS

LEVEL SUMMARY

LOWER LEVEL

The lower level space consists mainly of general building maintenance rooms, locker rooms, and storage rooms for the building. The general condition of the floor ranges from “satisfactory” (2) where spaces have been remodeled, to “unsatisfactory” (5) in many of the mechanical and storage rooms.

FIRST FLOOR

The First Floor of the building consists mainly of office spaces, locker rooms and the remaining pool.

The general condition of the spaces on the first floor are in “fair” condition, however there are some areas that are in “poor” (4) to “unsatisfactory” (5) condition. There is one area of “satisfactory” (2) offices in the building that have been recently remodeled.



1 LOWER LEVEL - CONDITION PLAN
1" = 1'-0"



1 FIRST FLOOR - CONDITION PLAN
1" = 1'-0"

INTERIOR CONDITIONS

INTERIOR CONDITION PLANS

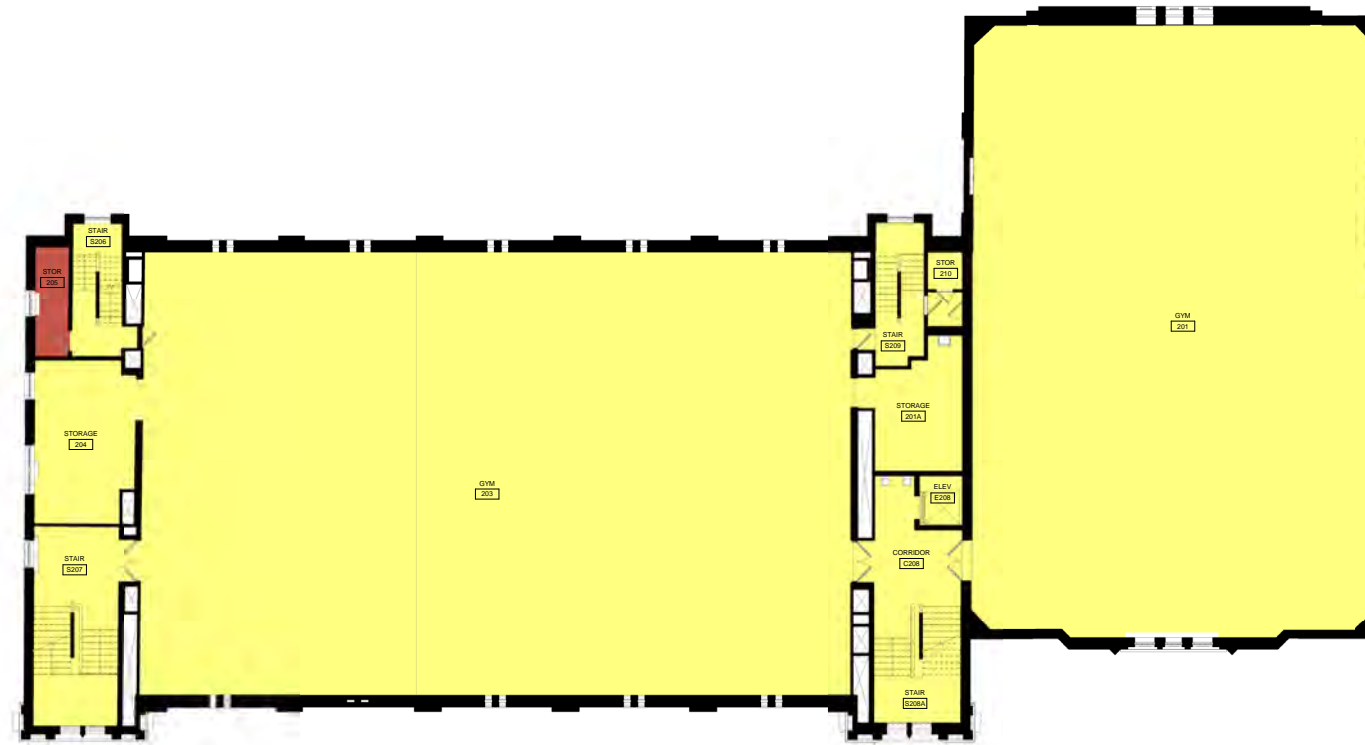
LEVEL SUMMARY

SECOND FLOOR

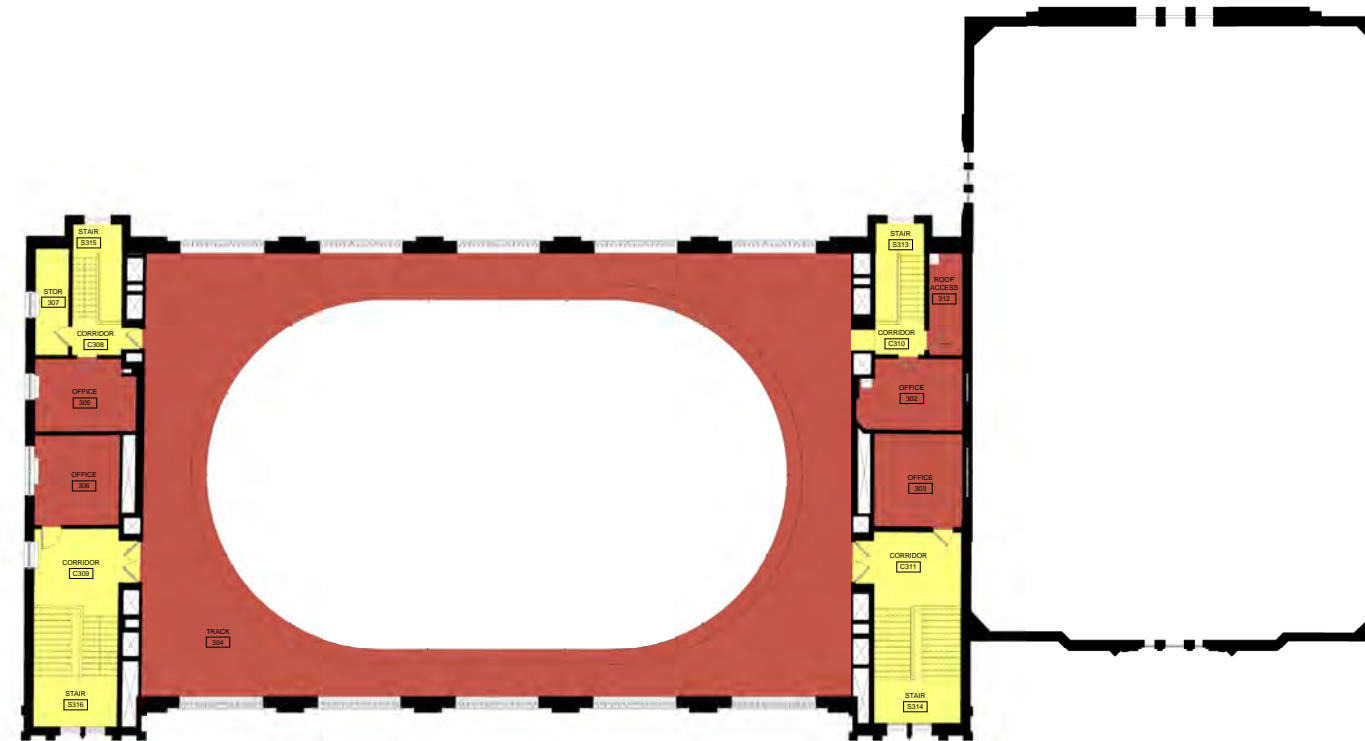
The second floor of the building is where the gymnasiums are located along with spaces that are auxiliary to the gyms. The entire floor is mostly in “poor” condition. One of the storage rooms on this level is considered to be in “unsatisfactory” condition.

THIRD FLOOR

The third floor of the building is where the suspended track is located, along with a couple of office and storage spaces. The entire floor is mostly in “unsatisfactory” condition.



1 SECOND FLOOR - CONDITION PLAN
1/8" = 1'-0"



1 THIRD FLOOR - CONDITION PLAN
1/8" = 1'-0"

INTERIOR CONDITIONS

INTERIOR CONDITIONS SUMMARY

INTERIOR CONDITION SUMMARY - WIT			
Room	Room Name	Refer to Condition	Rating
Floor - LL			
005	Storage		4 - Poor
009	Storage		2 - Satisfactory
010	Lounge		4 - Poor
013	Storage		4 - Poor
013A	Storage	013	3 - Fair
013B	Storage		5 - Unsatisfactory
016	Resource Center		4 - Poor
016A	Storage		4 - Poor
018	Laundry		4 - Poor
018A	Storage		
019	Storage		2 - Satisfactory
C020	Corridor	C021	4 - Poor
C021	Corridor		4 - Poor
C022	Corridor		5 - Unsatisfactory
C023	Corridor	C020	4 - Poor
E023A	Elevator		4 - Poor
M006	Mechanical	m007	5 - Unsatisfactory
M006A	Mechanical		
M007	Mechanical		4 - Poor
M007A	Mechanical	m006a	4 - Poor
M007B	Mechanical		5 - Unsatisfactory
M012	Mechanical		4 - Poor
M014	Mechanical		4 - Poor
M014A	Mechanical		4 - Poor
M014B	Storage		4 - Poor
M014C	Storage	M014B	4 - Poor
M017	Mechanical		4 - Poor
M019A	Elevator machine room		2 - Satisfactory

INTERIOR CONDITION SUMMARY - WIT			
Room	Room Name	Refer to Condition	Rating
M023B	Telecom		4 - Poor
M025	Mechanical		4 - Poor
M026	Electrical		4 - Poor
P001	Restroom - Men		4 - Poor
P002	Locker Room - Men		4 - Poor
P003	Shower		5 - Unsatisfactory
P015	Locker Room - Men		4 - Poor
S008	Storage		4 - Poor
S028	Stair	S123A	4 - Poor
Floor - 1			
101A	Elevator		4 - Poor
104	Hallway		2 - Satisfactory
104A	Office		2 - Satisfactory
104B	Office	104A	2 - Satisfactory
104C	Office	104A	2 - Satisfactory
104D	Office	104A	2 - Satisfactory
105	Dressing		3 - Fair
105A	Shower		3 - Fair
105B	Restroom - Women		3 - Fair
105C	Locker Room		3 - Fair
106	Storage	107	5 - Unsatisfactory
107	Storage		5 - Unsatisfactory
108	Restroom - Women		3 - Fair
108A	Mechanical		4 - Poor
109	Restroom - Men	108	3 - Fair
109A	Mechanical	108A	4 - Poor
112A	Office	112B	4 - Poor
112B	Office		4 - Poor
112C	Office		3 - Fair
112D	Office	112C	3 - Fair
112E	Storage		3 - Fair

INTERIOR CONDITION SUMMARY - WIT			
Room	Room Name	Refer to Condition	Rating
113B	Storage	125C	4 - Poor
114	Office		4 - Poor
114B	Office		4 - Poor
114C	Storage	114	4 - Poor
115	Office		5 - Unsatisfactory
115A	Storage	115	5 - Unsatisfactory
116	Pool		3 - Fair
117	Seating		3 - Fair
124	Office		2 - Satisfactory
125C	Storage		4 - Poor
128	Office	C138	3 - Fair
129	Office	137	3 - Fair
130	Office	137	3 - Fair
131	Office	132	3 - Fair
132	Office		3 - Fair
133	Office	132	3 - Fair
134	Office	132	3 - Fair
135	Office	137	3 - Fair
136	Office	137	3 - Fair
137	Office	c138	3 - Fair
139	Copy		3 - Fair
140	Office		3 - Fair
152	Corridor	C123	3 - Fair
C112	Corridor		
C118A	Corridor	C143	4 - Poor
C122	Corridor		4 - Poor
C122A	Vestibule		4 - Poor
C123	Corridor		3 - Fair
C125	Corridor		3 - Fair
C125B	Vestibule		3 - Fair
C126	Corridor		4 - Poor

INTERIOR CONDITIONS

INTERIOR CONDITIONS SUMMARY

INTERIOR CONDITION SUMMARY - WIT			
Room	Room Name	Refer to Condition	Rating
C126A	Vestibule		4 - Poor
C138	Corridor		3 - Fair
C143	Corridor		4 - Poor
J121	Custodian		5 - Unsatisfactory
M105	Mechanical		3 - Fair
P110	Locker Room - Men		3 - Fair
P110A	Toilet		3 - Fair
P110B	Shower		5 - Unsatisfactory
P110C	Locker Room - Men		5 - Unsatisfactory
P118	Locker Room - Women		4 - Poor
P119	Shower	P118	4 - Poor
P120	Toilet	P118	4 - Poor
P141	Custodian		5 - Unsatisfactory
S117A	Stair		4 - Poor
S122	Stair		4 - Poor
S123A	Stair		4 - Poor
S125A	Stair		4 - Poor
S126B	Stair		4 - Poor
Floor - 2			
201	Gym		4 - Poor
201A	Storage		4 - Poor
203	Gym		4 - Poor
204	Storage		3 - Fair
205	Storage		5 - Unsatisfactory
210	Storage		4 - Poor
C208	Corridor	S208a	4 - Poor
E208	Elevator		4 - Poor
S206	Stair	S123A	4 - Poor
S207	Stair	S125A	4 - Poor
S208A	Stair	S126B	4 - Poor
S209	Stair	S028	4 - Poor

INTERIOR CONDITION SUMMARY - WIT			
Room	Room Name	Refer to Condition	Rating
Floor - 3			
302	Office		5 - Unsatisfactory
303	Storage		5 - Unsatisfactory
304	Track		5 - Unsatisfactory
305	Office		5 - Unsatisfactory
306	Office		5 - Unsatisfactory
307	Storage		4 - Poor
312	Roof Access		5 - Unsatisfactory
C308	Corridor		4 - Poor
C309	Corridor	S316	4 - Poor
C310	Corridor	S209	4 - Poor
C311	Corridor	S314	4 - Poor
S313	Stair	S028	4 - Poor
S314	Stair	S126B	4 - Poor
S315	Stair	S123A	4 - Poor
S316	Stair	S125A	4 - Poor

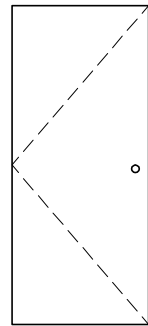
INTERIOR CONDITIONS

EXPANDED FACILITIES ASSESSMENT MATRICES / PHOTOGRAPHS

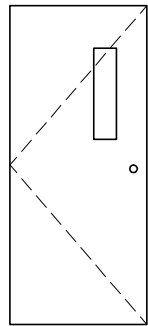
ASSESSMENT DESCRIPTION

The expanded facilities assessment matrices describe the various conditions of the components within each room. Door types, interior finishes, and wall constructions, for example, are described and given a rating. Select photographic images have been provided for specific areas and conditions. Generally, moveable furniture was not evaluated. Ratings are assigned primarily based on empirical evaluation of physical condition. Refer to the rating system chart for more information.

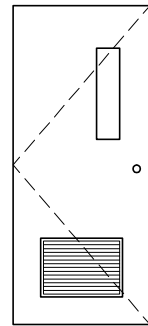
DOOR TYPES DIAGRAM



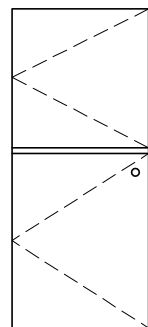
DOOR TYPE A



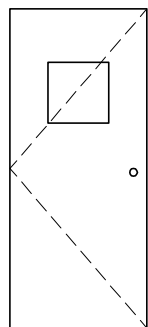
DOOR TYPE B



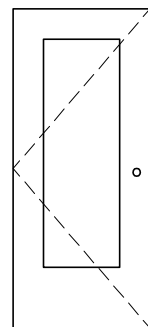
DOOR TYPE C



DOOR TYPE D



DOOR TYPE E



DOOR TYPE F

INTERIOR CONDITIONS

EXPANDED FACILITIES ASSESSMENT MATRICES - LOWER LEVEL

WIT - 005 - Storage			4 - Poor
Description	Condition Comments	Rating	
C - Interiors			
C10 - Interior Construction			
C1010.10 - Interior Fixed Partitions			
Painted clay brick, clay tile walls	clay brick is deteriorating at old portion of building exterior wall, large holes for ductwork in clay tile		5 - Unsatisfactory
Wood framed partitions dividing the space	some water damage, overall decent condition		4 - Poor
C1030 - Interior Doors			
Wood door and frame	original wood door with knob hardware		4 - Poor
D - Services			
D20 - Plumbing			
D2060 - Process Support Plumbing Systems			
Pipe wrap and fittings on insulation, peeling off	Aircell Pipe Wrap and fittings on fiberglass insulation is assumed ACM		5 - Unsatisfactory
D50 - Electrical			
D5020 - Lighting			
6"x48" fluorescent strip lights, suspended			4 - Poor
WIT - 009 - Storage			2 - Satisfactory
Description	Condition Comments	Rating	
C - Interiors			
C10 - Interior Construction			
C1030 - Interior Doors			
Wood door and frame	Non-ADA hardware		3 - Fair
C1080 - Exterior openings			
glass block window with vent			3 - Fair
C20 - Interior Finishes			
C2010 - Wall Finishes			
Plaster Walls			2 - Satisfactory

C2030 - Flooring			3 - Fair
Description	Condition Comments	Rating	
Carpet tile and Vinyl cove base	Carpet Mastic is assumed non-ACM		3 - Fair
C2050 - Ceiling Finishes			
2x2 ACT	Some water leak stains		2 - Satisfactory
D - Services			
D50 - Electrical			
D5020 - Lighting			
2x4 recessed light fixtures, and can lights			2 - Satisfactory
E - Equipment & Furnishings			
E10 - Equipment			
E1090 - Other Equipment			
recessed projection screen			2 - Satisfactory
E20 - Furnishings			
E2050 - Movable Equipment			
wood and metal shelving throughout			2 - Satisfactory
WIT - 010 - Lounge			4 - Poor
Description	Condition Comments	Rating	
C - Interiors			
C10 - Interior Construction			
C1030 - Interior Doors			
wood dutch door with wood frame	Non-ADA hardware, newer pushbutton lock		3 - Fair
C1080 - Exterior openings			
glass block window with vent			3 - Fair
C20 - Interior Finishes			
C2010 - Wall Finishes			
paint, wood paneling on north wall			4 - Poor
C2030 - Flooring			
Carpet and Vinyl cove base	Mastic is non-ACM		5 - Unsatisfactory

C2050 - Ceiling Finishes			4 - Poor
Description	Condition Comments	Rating	
2x2 ACT	Non-ACM		4 - Poor
D - Services			
D20 - Plumbing			
D2010.60 - Plumbing Fixtures			
Stainless steel sink and faucet in base cabinet on east wall			4 - Poor
D2060 - Process Support Plumbing Systems			
Fittings on Fiberglass pipe insulation	ACM		5 - Unsatisfactory
D50 - Electrical			
D5020 - Lighting			
1x4 recessed fluorescent fixtures			4 - Poor
E - Equipment & Furnishings			
E10 - Equipment			
E1040 - Institutional Equipment			
Wall mounted air conditioner, Mr. Slim			5 - Unsatisfactory
E20 - Furnishings			
E2010 - Fixed Furnishings			
two base cabinets with one overhead cabinet on west wall plastic laminate top with backsplash			4 - Poor
WIT - 013 - Storage			4 - Poor
Description	Condition Comments	Rating	
C - Interiors			
C10 - Interior Construction			
C1030 - Interior Doors			
wood door and frame	Non-ADA hardware		4 - Poor
C20 - Interior Finishes			
C2010 - Wall Finishes			
Plaster	Non-ACM		3 - Fair

INTERIOR CONDITIONS

EXPANDED FACILITIES ASSESSMENT MATRICES - LOWER LEVEL

C2030 - Flooring		
Rubber Flooring and Vinyl Cove base	Mastic is non-ACM, floor tile, peeling up from the concrete	4 - Poor
C2050 - Ceiling Finishes		
plaster	some peeling	3 - Fair
D - Services		
D50 - Electrical		
D5020 - Lighting		
2x4 fluorescent lighting	surface mounted	4 - Poor
WIT - 013A - Storage		
3 - Fair		
Description	Condition Comments	Rating
C - Interiors		
C10 - Interior Construction		
C1010.10 - Interior Fixed Partitions		
Plaster walls, painted	some peeling	3 - Fair
C1080 - Exterior openings		
Exterior Window Glazing	Large mirror covering any exterior window on the south wall	4 - Poor
C20 - Interior Finishes		
C2030 - Flooring		
rubber floor tile and Vinyl cove base	Mastic is non-ACM, dirty, some is peeling up in the corners	3 - Fair
C2050 - Ceiling Finishes		
Plaster ceiling	painted	3 - Fair
D - Services		
D20 - Plumbing		
D2060 - Process Support Plumbing Systems		
Fittings on Fiberglass pipe insulation	assumed ACM, insulation is peeling off in some locations	4 - Poor
D50 - Electrical		
D5020 - Lighting		
2x4 surface mounted fluorescent fixtures		4 - Poor
E - Equipment & Furnishings		
E20 - Furnishings		

E2050 - Movable Equipment		
storage shelving		3 - Fair
WIT - 013B - Storage		
5 - Unsatisfactory		
Description	Condition Comments	Rating
C - Interiors		
C10 - Interior Construction		
C1030 - Interior Doors		
Wood door and frame in wood framed wall	stile and rail, half glass, non-ADA hardware	5 - Unsatisfactory
C1080 - Exterior openings		
Exterior Window glazing	ACM, wood window, painted double hung	4 - Poor
C20 - Interior Finishes		
C2010 - Wall Finishes		
Plaster walls, clay tile, concrete exterior wall	Non-ACM, painted walls have significant peeling	5 - Unsatisfactory
C2030 - Flooring		
concrete	some cracking, sealed	5 - Unsatisfactory
C2050 - Ceiling Finishes		
plaster/ clay tile and concrete pan joist		5 - Unsatisfactory
D - Services		
D20 - Plumbing		
D2060 - Process Support Plumbing Systems		
Fittings on Fiberglass Pipe insulation	ACM peeling and cracking, some missing	5 - Unsatisfactory
D50 - Electrical		
D5020 - Lighting		
1x4 surface mount fluorescent fixture		4 - Poor
WIT - 016 - Resource Center		
4 - Poor		
Description	Condition Comments	Rating
C - Interiors		
C10 - Interior Construction		

C1030 - Interior Doors		
Wood door and wood frame		3 - Fair
C1080 - Exterior openings		
Glass block window	air conditioner in window, along with vent	4 - Poor
C20 - Interior Finishes		
C2010 - Wall Finishes		
Plaster walls	Painted with surface elec raceway	2 - Satisfactory
C2030 - Flooring		
Carpeting and carpet Base	Some staining	3 - Fair
C2050 - Ceiling Finishes		
Painted plaster		4 - Poor
D - Services		
D20 - Plumbing		
D2060 - Process Support Plumbing Systems		
Fittings on Fiberglass Pipe insulation	assumed ACM	5 - Unsatisfactory
D50 - Electrical		
D5020 - Lighting		
3x4 surface mounted fluorescent light		5 - Unsatisfactory
E - Equipment & Furnishings		
E20 - Furnishings		
E2010 - Fixed Furnishings		
Built in cabinetry	particle board, pulling away from walls	6 - Replace
WIT - 016A - Storage		
4 - Poor		
Description	Condition Comments	Rating
C - Interiors		
C10 - Interior Construction		
C1010.10 - Interior Fixed Partitions		
clay tile walls		4 - Poor
C1030 - Interior Doors		
wood door and frame	Non-ADA hardware	4 - Poor
C20 - Interior Finishes		

INTERIOR CONDITIONS

EXPANDED FACILITIES ASSESSMENT MATRICES - LOWER LEVEL

C2030 - Flooring		
Concrete		3 - Fair
C2050 - Ceiling Finishes		
Concrete pan joist and clay tile		4 - Poor
D - Services		
D20 - Plumbing		
D2060 - Process Support Plumbing Systems		
Fittings on Fiberglass Pipe insulation	ACM	5 - Unsatisfactory
D50 - Electrical		
D5020 - Lighting		
Bare bulb	didn't work	6 - Replace
WIT - 018 - Laundry		
4 - Poor		
Description	Condition Comments	Rating
C - Interiors		
C10 - Interior Construction		
C1030 - Interior Doors		
wood door and frame	door has new push button hardware on it	3 - Fair
C1080 - Exterior openings		
glass block window with vent		2 - Satisfactory
C20 - Interior Finishes		
C2010 - Wall Finishes		
Plaster walls	Non-ACM, painted and peeling	4 - Poor
C2030 - Flooring		
painted concrete	paint is peeling, one floor drain, concrete wall base, painted.	3 - Fair
C2050 - Ceiling Finishes		
Plaster	paint is peeling from some apparent water damage	4 - Poor
D - Services		
D20 - Plumbing		
D2060 - Process Support Plumbing Systems		
Pipe wrap and fittings on insulation	Aircell and Cardboard Pipe Wrap and fittings on fiberglass insulation is ACM, cracked and peeling, all is exposed	4 - Poor
D50 - Electrical		

D5020 - Lighting		
2x4 fluorescent suspended	dated plastic crate lenses	6 - Replace
WIT - 018A - Storage		
Description	Condition Comments	Rating
C - Interiors		
C10 - Interior Construction		
C1030 - Interior Doors		
Wood door with hollow metal frame	Non-ADA hardware	3 - Fair
C20 - Interior Finishes		
C2010 - Wall Finishes		
Plaster walls		3 - Fair
C2030 - Flooring		
Carpet and vinyl cove base, also concrete painted base, rubber transition strip		4 - Poor
D - Services		
D20 - Plumbing		
D2060 - Process Support Plumbing Systems		
Fittings on Fiberglass pipe insulation	assumed ACM	4 - Poor
E - Equipment & Furnishings		
E10 - Equipment		
E1090 - Other Equipment		
Shelving furniture for some uniforms		3 - Fair
WIT - 019 - Storage		
2 - Satisfactory		
Description	Condition Comments	Rating
C - Interiors		
C10 - Interior Construction		
C1010.10 - Interior Fixed Partitions		
Painted CMU and brick walls	Paint is not chipping, is a little dirty, and some patching over the years.	2 - Satisfactory

C1030 - Interior Doors		
wood door in wood frame, newer ADA hardware	newer ADA hardware, and hinges	2 - Satisfactory
C20 - Interior Finishes		
C2030 - Flooring		
12" VCT tile flooring with 4" vinyl base		3 - Fair
C2050 - Ceiling Finishes		
2x2 ACT	newer ceiling tile	3 - Fair
D - Services		
D50 - Electrical		
D5020 - Lighting		
2x4 fluorescent fixtures	relatively new looking	2 - Satisfactory
E - Equipment & Furnishings		
E10 - Equipment		
E1090 - Other Equipment		
Floor scrubbers	Storage room for scrubbers	8 - NA
E20 - Furnishings		
E2050 - Movable Equipment		
4 large movable shelving units		1 - Good
WIT - C020 - Corridor		
4 - Poor		
Description	Condition Comments	Rating
C - Interiors		
C20 - Interior Finishes		
C2010 - Wall Finishes		
Plaster walls	some areas of peeling	4 - Poor
C2030 - Flooring		
Concrete Flooring	Resinous concrete flooring, 6" concrete wall base, painted	4 - Poor
C2050 - Ceiling Finishes		
Plaster ceiling finish	some peeling	4 - Poor
WIT - C021 - Corridor		
4 - Poor		
Description	Condition Comments	Rating
C - Interiors		
C20 - Interior Finishes		

INTERIOR CONDITIONS

EXPANDED FACILITIES ASSESSMENT MATRICES - LOWER LEVEL

C2010 - Wall Finishes		
Plaster walls		4 - Poor
C2030 - Flooring		
concrete	resinous concrete floor, 6" concrete wall base, painted	4 - Poor
C2050 - Ceiling Finishes		
plaster	painted plaster ceiling	4 - Poor
D - Services		
D20 - Plumbing		
D2060 - Process Support Plumbing Systems		
Pipe wrap and fittings on insulation	Aircell Pipe Wrap and fittings on fiberglass insulation is assumed ACM	5 - Unsatisfactory
WIT - C022 - Corridor		
5 - Unsatisfactory		
Description	Condition Comments	Rating
C - Interiors		
C20 - Interior Finishes		
C2010 - Wall Finishes		
Plaster walls		5 - Unsatisfactory
C2030 - Flooring		
sealed concrete floor		4 - Poor
D - Services		
D20 - Plumbing		
D2060 - Process Support Plumbing Systems		
Pipe wrap and fittings on insulation	Aircell and Cardboard Pipe Wrap and fittings on fiberglass insulation is assumed ACM	6 - Replace
WIT - C023 - Corridor		
4 - Poor		
Description	Condition Comments	Rating
C - Interiors		
C20 - Interior Finishes		
C2010 - Wall Finishes		
Plaster wall		4 - Poor
C2030 - Flooring		
Concrete floor	Resinous flooring, painted	3 - Fair

C2050 - Ceiling Finishes		
ACT ceiling tile		3 - Fair
D - Services		
D10 - Conveying Systems		
D1010.10 - Elevators		
Elevator Doors	Assumed ACM	3 - Fair
D20 - Plumbing		
D2060 - Process Support Plumbing Systems		
Pipe wrap and fittings on insulation	Aircell and Cardboard Pipe Wrap, gang valve insulation, and fittings on fiberglass insulation is assumed ACM	6 - Replace
WIT - E023A - Elevator		
4 - Poor		
Description	Condition Comments	Rating
C - Interiors		
C10 - Interior Construction		
C1030 - Interior Doors		
metal door		3 - Fair
C20 - Interior Finishes		
C2030 - Flooring		
Concrete floor		4 - Poor
WIT - M006 - Mechanical		
5 - Unsatisfactory		
Description	Condition Comments	Rating
C - Interiors		
C10 - Interior Construction		
C1030 - Interior Doors		
Wood framed door and frame with metal mesh inset		5 - Unsatisfactory
C20 - Interior Finishes		
C2010 - Wall Finishes		
Plaster wall finish,	All paint is peeling	5 - Unsatisfactory
peeling pain on walls and ceiling, concrete walls and CMU block walls, also brick walls		

C2050 - Ceiling Finishes		
concrete	pool stairs are above	3 - Fair
D - Services		
D20 - Plumbing		
D2060 - Process Support Plumbing Systems		
Pipe wrap and fittings on insulation, peeling off in a few places, mostly newer looking	Aircell Pipe Wrap and fittings on fiberglass insulation is assumed ACM	5 - Unsatisfactory
Pool process equipment	large manhole with deteriorating cover	6 - Replace
E - Equipment & Furnishings		
E10 - Equipment		
E1090 - Other Equipment		
eyewash		2 - Satisfactory
WIT - M006A - Mechanical		
Description	Condition Comments	Rating
C - Interiors		
C10 - Interior Construction		
C1010.10 - Interior Fixed Partitions		
CMU / concrete	painted walls	
C1030 - Interior Doors		
hollow metal door and frame	ADA hardware with half glass	
C20 - Interior Finishes		
C2030 - Flooring		
concrete		
C2050 - Ceiling Finishes		
plaster ceiling	painted	
D - Services		
D50 - Electrical		
D5020 - Lighting		
2x4 industrial fluorescent fixture	suspended	
WIT - M007 - Mechanical		
4 - Poor		
Description	Condition Comments	Rating
C - Interiors		
C10 - Interior Construction		

INTERIOR CONDITIONS

EXPANDED FACILITIES ASSESSMENT MATRICES - LOWER LEVEL

C1010.10 - Interior Fixed Partitions		
concrete and brick walls	paint is peeling, rusty, pool seating and pool walls are exposed in ceiling above	4 - Poor
C20 - Interior Finishes		
C2030 - Flooring		
Concrete		3 - Fair
C2050 - Ceiling Finishes		
clay tile ceiling with concrete pan joist floor		4 - Poor
8" tile 2" concrete topping		
D - Services		
D20 - Plumbing		
D2060 - Process Support Plumbing Systems		
Pipe wrap and fittings on insulation, peeling	Aircell and Magnesia Pipe Wrap and fittings on fiberglass insulation is assumed ACM	6 - Replace
WIT - M007A - Mechanical		
4 - Poor		
Description	Condition Comments	Rating
C - Interiors		
C10 - Interior Construction		
C1010.10 - Interior Fixed Partitions		
brick walls		4 - Poor
C1030 - Interior Doors		
Wood door and frame	Air pressure pushes door out when unlocked	5 - Unsatisfactory
C20 - Interior Finishes		
C2030 - Flooring		
Concrete		3 - Fair
E - Equipment & Furnishings		
E10 - Equipment		
E1040 - Institutional Equipment		
Air plenum for mechanical equipment		4 - Poor
WIT - M007B - Mechanical		
5 - Unsatisfactory		
Description	Condition Comments	Rating
C - Interiors		
C10 - Interior Construction		

C1010.10 - Interior Fixed Partitions		
brick wall, with concrete columns		3 - Fair
C20 - Interior Finishes		
C2030 - Flooring		
concrete floor		3 - Fair
C2050 - Ceiling Finishes		
Wood framed ceiling		4 - Poor
E - Equipment & Furnishings		
E10 - Equipment		
E1040 - Institutional Equipment		
HVAC	exhaust under the seating area of the pool, old mechanical equipment that is abandoned	4 - Poor
WIT - M012 - Mechanical		
4 - Poor		
Description	Condition Comments	Rating
C - Interiors		
C10 - Interior Construction		
C1010 - Interior Partitions		
clay tile and concrete exterior wall		4 - Poor
C1030 - Interior Doors		
Wood door and frame	Non-ADA hardware	3 - Fair
C20 - Interior Finishes		
C2030 - Flooring		
concrete		3 - Fair
C2050 - Ceiling Finishes		
clay tile and concrete pan joist		3 - Fair
WIT - M014 - Mechanical		
4 - Poor		
Description	Condition Comments	Rating
C - Interiors		
C10 - Interior Construction		
C1010.10 - Interior Fixed Partitions		
brick, clay tile and CMU walls		3 - Fair

C1030 - Interior Doors		
wood door and frame	Non-ADA hardware	5 - Unsatisfactory
C20 - Interior Finishes		
C2030 - Flooring		
concrete	4" concrete curb at perimeter, concrete ramp at door	4 - Poor
C2050 - Ceiling Finishes		
clay tile and concrete pan joist		3 - Fair
D - Services		
D20 - Plumbing		
D2060 - Process Support Plumbing Systems		
Fittings on Fiberglass Pipe insulation	ACM, dirty, some peeling off, cracked, some missing	6 - Replace
D50 - Electrical		
D5020 - Lighting		
2x4 suspended industrial fixture		4 - Poor
WIT - M014B		
4 - Poor		
Description	Condition Comments	Rating
C - Interiors		
C10 - Interior Construction		
C1010.10 - Interior Fixed Partitions		
wood frame with clay tile face		4 - Poor
C1030 - Interior Doors		
wood door and frame	half-lite with floralite glazing	4 - Poor
C20 - Interior Finishes		
C2030 - Flooring		
concrete floor		4 - Poor
C2050 - Ceiling Finishes		
wood framed with wood beams, wood plank ceiling		5 - Unsatisfactory
WIT - M017 - Mechanical		
4 - Poor		
Description	Condition Comments	Rating
C - Interiors		
C10 - Interior Construction		

INTERIOR CONDITIONS

EXPANDED FACILITIES ASSESSMENT MATRICES - LOWER LEVEL

C1010.10 - Interior Fixed Partitions		
Structural clay tile walls/ brick walls		4 - Poor
C1030 - Interior Doors		
Wood door with non-ADA hardware		4 - Poor
C1080 - Exterior openings		
Exterior Window Glazing	Assumed ACM	4 - Poor
C20 - Interior Finishes		
C2030 - Flooring		
Painted concrete floor, access panels in floor	partially painted some cracking throughout	4 - Poor
C2050 - Ceiling Finishes		
Clay tile ceiling	broken, many holes for mechanical penetrations	3 - Fair
D - Services		
D20 - Plumbing		
D2010.60 - Plumbing Fixtures		
concrete mop sink and mop hooks		4 - Poor
D2060 - Process Support Plumbing Systems		
Pipe wrap and fittings on insulation	Cardboard Pipe Wrap and fittings on fiberglass insulation is assumed ACM	6 - Replace
D50 - Electrical		
D5020 - Lighting		
Fluorescent strip lighting		2 - Satisfactory
E - Equipment & Furnishings		
E10 - Equipment		
E1040 - Institutional Equipment		
Mechanical units, water softener, water heater	lots of piping, large ductwork	3 - Fair
WIT - M019A - Elevator machine room		
		2 - Satisfactory
Description	Condition Comments	Rating
C - Interiors		
C10 - Interior Construction		

C1010.10 - Interior Fixed Partitions		
Painted block and concrete walls		2 - Satisfactory
C1030 - Interior Doors		
hollow metal door and frame	door is raised on 6" curb, has new ADA hardware	2 - Satisfactory
C20 - Interior Finishes		
C2030 - Flooring		
sealed concrete floor		2 - Satisfactory
C2050 - Ceiling Finishes		
Painted clay tile ceiling		3 - Fair
D - Services		
D10 - Conveying Systems		
D1010.10 - Elevators		
Main elevator breaker		8 - NA
D50 - Electrical		
D5020 - Lighting		
2x4 fluorescent strip light		3 - Fair
E - Equipment & Furnishings		
E10 - Equipment		
E1040 - Institutional Equipment		
Elevator hydraulic pump		8 - NA
WIT - M023B - Telecom		
		4 - Poor
Description	Condition Comments	Rating
C - Interiors		
C10 - Interior Construction		
C1010.10 - Interior Fixed Partitions		
Painted CMU and clay tile walls		4 - Poor
C1030 - Interior Doors		
Wood door and frame	Non-ADA hardware	3 - Fair
C20 - Interior Finishes		
C2030 - Flooring		
Sealed concrete		2 - Satisfactory

C2050 - Ceiling Finishes		
Painted clay tile ceiling		4 - Poor
E - Equipment & Furnishings		
E10 - Equipment		
E1090 - Other Equipment		
Telecom wiring and panel		4 - Poor
WIT - M025 - Mechanical		
		4 - Poor
Description	Condition Comments	Rating
C - Interiors		
C10 - Interior Construction		
C1010.10 - Interior Fixed Partitions		
clay tile walls		4 - Poor
C1030 - Interior Doors		
Wood mesh door and wood frame in wood framed wall		5 - Unsatisfactory
C20 - Interior Finishes		
C2030 - Flooring		
Sealed concrete		4 - Poor
D - Services		
D20 - Plumbing		
D2060 - Process Support Plumbing Systems		
Pipe wrap and fittings on insulation	Aircell Pipe Wrap and fittings on fiberglass insulation is assumed ACM	6 - Replace
D50 - Electrical		
D5020 - Lighting		
Fluorescent bulb		4 - Poor
WIT - M026 - Electrical		
		4 - Poor
Description	Condition Comments	Rating
C - Interiors		
C10 - Interior Construction		
C1030 - Interior Doors		
Wood door and frame	Non-ADA hardware	5 - Unsatisfactory
C20 - Interior Finishes		

INTERIOR CONDITIONS

EXPANDED FACILITIES ASSESSMENT MATRICES - LOWER LEVEL

C2010 - Wall Finishes	Plaster on stud at stair concrete base and plaster on concrete	3 - Fair
C2030 - Flooring	Painted concrete	4 - Poor
C2050 - Ceiling Finishes	Painted concrete ceiling	4 - Poor
D - Services		
D50 - Electrical		
D5020 - Lighting	fluorescent bulb	4 - Poor
WIT - P001 - Restroom - Men		4 - Poor
Description	Condition Comments	Rating
C - Interiors		
C20 - Interior Finishes		
C2010 - Wall Finishes	Plaster wall finish and green 4x4 wall tile possible ACM	3 - Fair
C2030 - Flooring	Ceramic Tile and cove base Adhesive and grout is assumed ACM	4 - Poor
D - Services		
D20 - Plumbing		
D2010.60 - Plumbing Fixtures	water closets and urinals with flush valves, wall mounted sink, large floor drain	4 - Poor
D2060 - Process Support Plumbing Systems	Pipe wrap and fittings on insulation Aircell Pipe Wrap and fittings on fiberglass insulation is ACM	5 - Unsatisfactory
E - Equipment & Furnishings		
E20 - Furnishings		
E2010 - Fixed Furnishings	metal floor mounted overhead braced toilet partitions	3 - Fair
	Paper towel dispensers and electric hand dryer	2 - Satisfactory
WIT - P002 - Locker Room - Men		4 - Poor

Description	Condition Comments	Rating
C - Interiors		
C10 - Interior Construction		
C1030 - Interior Doors	wood door and frame push pull, painted with closer,	5 - Unsatisfactory
C1080 - Exterior openings	glass block	3 - Fair
C20 - Interior Finishes		
C2010 - Wall Finishes	Plaster wall finish peeling cracking	4 - Poor
C2030 - Flooring	Ceramic tile with 5" cove base Adhesive and grout is assumed ACM	3 - Fair
C2050 - Ceiling Finishes	plaster peeling	5 - Unsatisfactory
D - Services		
D20 - Plumbing		
D2060 - Process Support Plumbing Systems	Pipe wrap and fittings on insulation Aircell Pipe Wrap and fittings on fiberglass insulation is assumed ACM	5 - Unsatisfactory
	HVAC ductwork paint is peeling and is rusty	5 - Unsatisfactory
D50 - Electrical		
D5020 - Lighting	6"x 48" fluorescent strip lights, suspended	4 - Poor
E - Equipment & Furnishings		
E20 - Furnishings		
E2010 - Fixed Furnishings	Metal 12"x72" sloped top lockers rusted and dirty	4 - Poor
	Wood bench 5.25" wide on metal legs, very narrow	6 - Replace
	hand dryer wall mounted "Hair dryers"	2 - Satisfactory
WIT - P003 - Shower		5 - Unsatisfactory
Description	Condition Comments	Rating
C - Interiors		
C20 - Interior Finishes		

C2010 - Wall Finishes	Plaster wall finish and green 4x4 ceramic tile peeling and cracking wall finish, mastic is assumed ACM	4 - Poor
C2030 - Flooring	Ceramic tile Adhesive and grout is assumed ACM, tile is stained, but not cracked or missing	3 - Fair
C2050 - Ceiling Finishes	Plaster ceiling, cracked and peeling	5 - Unsatisfactory
D - Services		
D20 - Plumbing		
D2010.60 - Plumbing Fixtures	Showers are rusty and corroded	6 - Replace
D2060 - Process Support Plumbing Systems	Pipe insulation cracking and falling off, is assumed ACM	6 - Replace
D50 - Electrical		
D5020 - Lighting	metal halide light with metal case	5 - Unsatisfactory
WIT - P015 - Locker Room - Men		4 - Poor
Description	Condition Comments	Rating
C - Interiors		
C10 - Interior Construction		
C1030 - Interior Doors	Wood door and frame Non-ADA hardware	4 - Poor
C20 - Interior Finishes		
C2010 - Wall Finishes	Plaster Walls Ceramic tile 4x4 white, ceramic tile cove base, clay tile painted walls	4 - Poor
C2030 - Flooring	Ceramic Tile in the shower stall and adjacent dressing area. Adhesive/ grout assumed ACM	4 - Poor
	resinous flooring with colored flakes Stained and cracking at perimeter	4 - Poor

INTERIOR CONDITIONS

EXPANDED FACILITIES ASSESSMENT MATRICES - LOWER LEVEL

C2050 - Ceiling Finishes		
Painted clay tile and concrete pan joist	paint is peeling	4 - Poor
D - Services		
D20 - Plumbing		
D2010.60 - Plumbing Fixtures		
Wall mount sink, urinal, water closet		5 - Unsatisfactory
E - Equipment & Furnishings		
E10 - Equipment		
E1090 - Other Equipment		
Wood bench, 12"x72" metal lockers on legs with sloped tops metal toilet partition, non-ADA		4 - Poor
WIT - S008 - Storage		
4 - Poor		
Description	Condition Comments	Rating
C - Interiors		
C10 - Interior Construction		
C1010 - Interior Partitions		
Clay tile and concrete exterior walls		3 - Fair
C1030 - Interior Doors		
Wood door and frame	Non-ADA hardware	3 - Fair
C20 - Interior Finishes		
C2010 - Wall Finishes		
Wood framed south wall has masonite wall panel finish		4 - Poor
C2030 - Flooring		
Concrete		3 - Fair
C2050 - Ceiling Finishes		
Clay tile and concrete pan joist		4 - Poor
WIT - S028 - Stair		
4 - Poor		
Description	Condition Comments	Rating
C - Interiors		
C20 - Interior Finishes		

C2010 - Wall Finishes		
Plaster walls	Non-ACM	3 - Fair
C2040 - Stair Finishes		
Painted terrazzo	cracked and worn down to concrete in many places	4 - Poor
D - Services		
D20 - Plumbing		
D2060 - Process Support Plumbing Systems		
Pipe Wrap	Pipe wrap is assumed ACM	4 - Poor

INTERIOR CONDITIONS

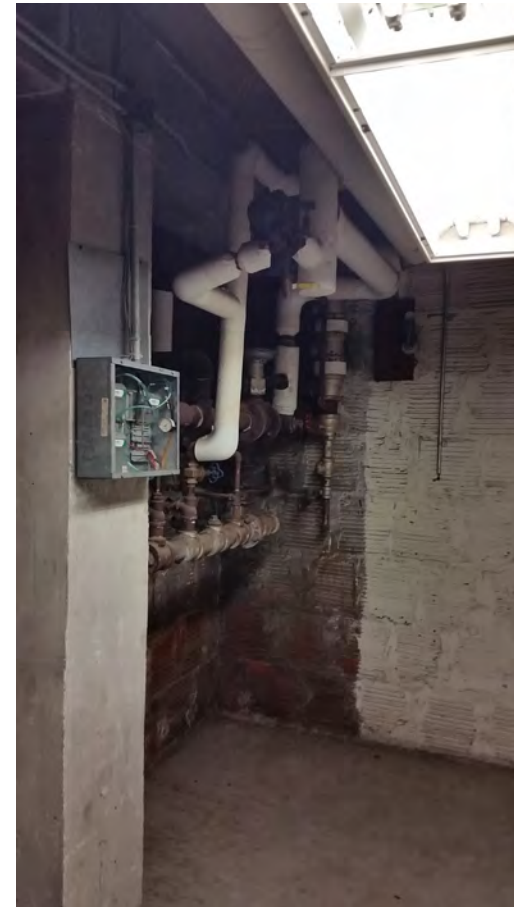
GENERAL BUILDING MECHANICAL - LOWER LEVEL PHOTOS



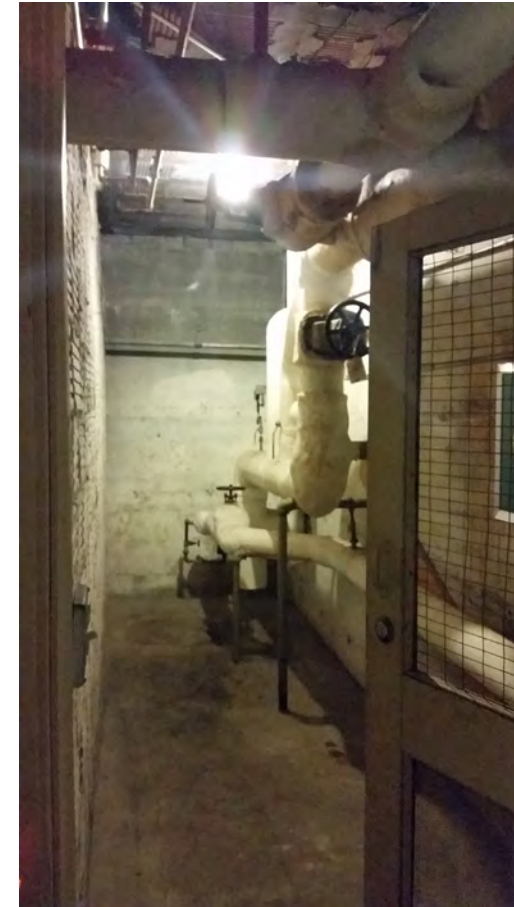
MECH-M006



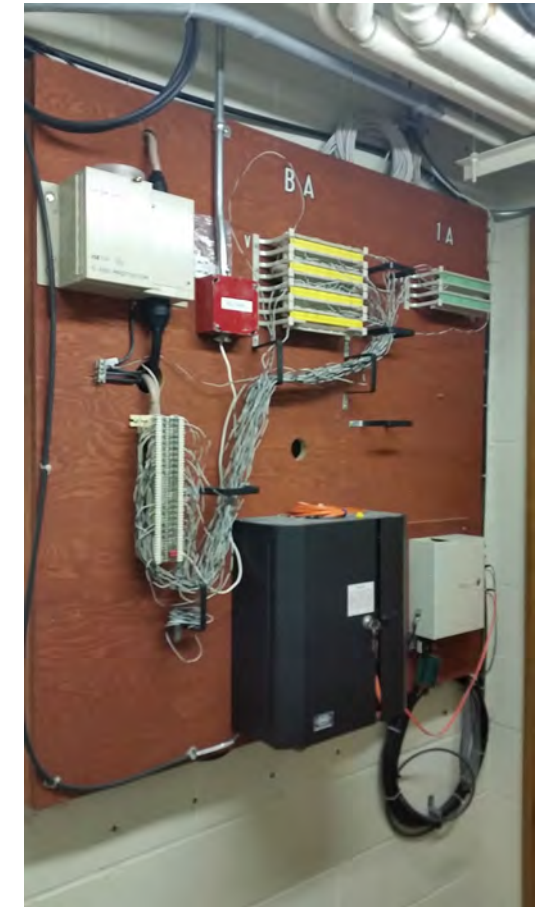
MECH-M007B



MECH-M014



MECH-M025



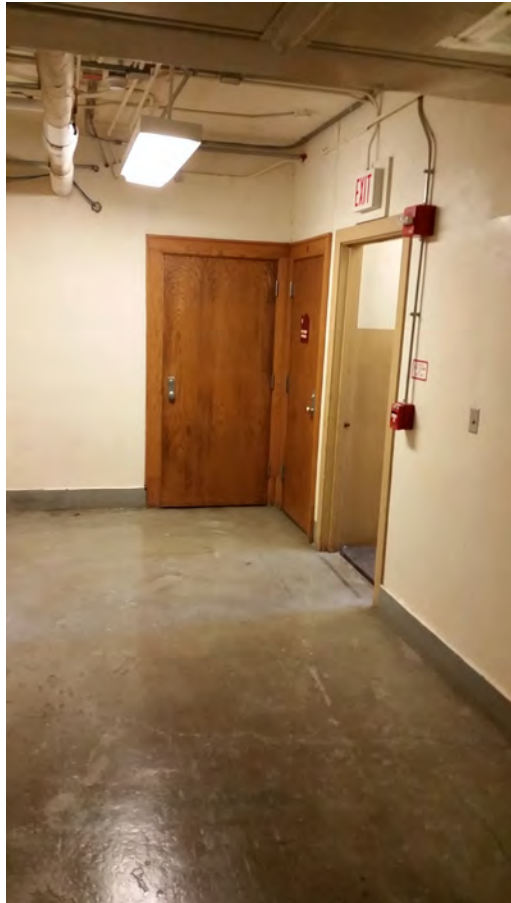
TELECOM-M023B



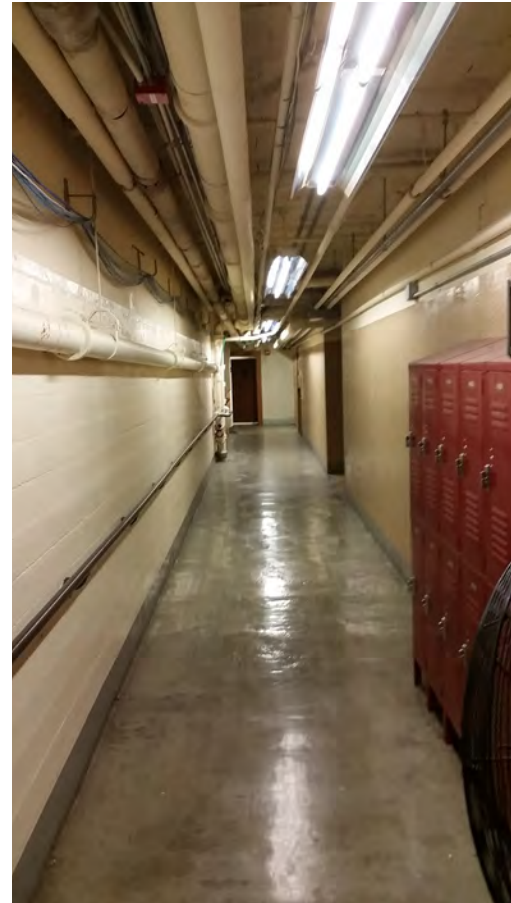
MECH-M007

INTERIOR CONDITIONS

GENERAL BUILDING CIRCULATION AND STORAGE- LOWER LEVEL PHOTOS



HALLWAY-C021



HALLWAY-C022



STAIR-S123B



STORAGE-009



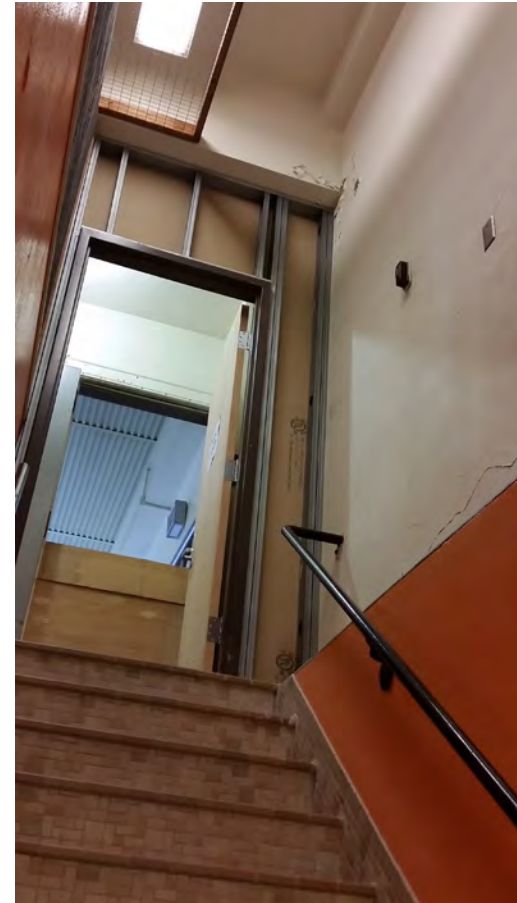
STORAGE-P013B

INTERIOR CONDITIONS

GENERAL BUILDING SERVICES (LOCKERS / TOILETS) AND GENERAL USE - LOWER LEVEL PHOTOS



LOCKER RM-P002-01



LOCKER RM-P002-STAIR



TOILET RM-P015



RESOURCE-016



LOCKER RM-P002-02

INTERIOR CONDITIONS

EXPANDED FACILITIES ASSESSMENT MATRICES - FIRST FLOOR

WIT - 104 - Hallway 2 - Satisfactory

Description	Condition Comments	Rating
-------------	--------------------	--------

C - Interiors

C10 - Interior Construction

C1030 - Interior Doors

wood door and frame	ADA lever door hardware	2 - Satisfactory
---------------------	-------------------------	------------------

C20 - Interior Finishes

C2010 - Wall Finishes

Plaster walls		2 - Satisfactory
---------------	--	------------------

C2030 - Flooring

Carpet and 8" wood base, carpet base on new east wall at offices	Newer carpeting	2 - Satisfactory
--	-----------------	------------------

C2050 - Ceiling Finishes

2x2 ACT	Newer ceiling	2 - Satisfactory
---------	---------------	------------------

D - Services

D50 - Electrical

D5020 - Lighting

recessed 2x4 fluorescent fixtures	ACM	2 - Satisfactory
-----------------------------------	-----	------------------

WIT - 104A - Office 2 - Satisfactory

Description	Condition Comments	Rating
-------------	--------------------	--------

C - Interiors

C10 - Interior Construction

C1030 - Interior Doors

Wood doors with hollow metal frame	All have current ADA compliant hardware and a small window in the door	1 - Good
------------------------------------	--	----------

C20 - Interior Finishes

C2010 - Wall Finishes

Painted gwb wall	New looking, no peeling or chipping	2 - Satisfactory
------------------	-------------------------------------	------------------

C2030 - Flooring

Carpeting	Carpet wall base with wood wall base at exterior walls, looks clean and relatively new	2 - Satisfactory
-----------	--	------------------

C2050 - Ceiling Finishes

2x2 act tile ceiling	Newer ceiling	2 - Satisfactory
----------------------	---------------	------------------

D - Services

D50 - Electrical

D5020 - Lighting

2x4 recessed fluorescent fixtures	New fixtures	2 - Satisfactory
-----------------------------------	--------------	------------------

WIT - 104D - Office 2 - Satisfactory

Description	Condition Comments	Rating
-------------	--------------------	--------

C - Interiors

C10 - Interior Construction

C1030 - Interior Doors

Wood doors with painted hollow metal frame	All have current ADA compliant hardware and a small window in the door	1 - Good
--	--	----------

C1080 - Exterior openings

Wood double hung windows with vertical blinds	Vertical blinds are dated and dirty, but are operational	3 - Fair
---	--	----------

C20 - Interior Finishes

C2010 - Wall Finishes

Painted GWB wall	New looking, no peeling or chipping	2 - Satisfactory
------------------	-------------------------------------	------------------

C2030 - Flooring

carpeting with carpet base and wood wall base at exterior wall	Carpet wall base with wood wall base at exterior walls, looks clean and relatively new	2 - Satisfactory
--	--	------------------

C2050 - Ceiling Finishes

2x2 ACT tile	Newer ceiling	2 - Satisfactory
--------------	---------------	------------------

D - Services

D50 - Electrical

D5020 - Lighting

Recessed fluorescent fixtures	New fixtures	2 - Satisfactory
-------------------------------	--------------	------------------

WIT - 105 - Dressing 3 - Fair

Description	Condition Comments	Rating
-------------	--------------------	--------

C - Interiors

C20 - Interior Finishes

C2010 - Wall Finishes

4x4 ceramic tile walls		3 - Fair
------------------------	--	----------

C2030 - Flooring

Mosaic Ceramic Tile	Tile adhesive/grout is assumed ACM	3 - Fair
---------------------	------------------------------------	----------

C2050 - Ceiling Finishes

painted plaster ceiling		3 - Fair
-------------------------	--	----------

D - Services

D50 - Electrical

D5020 - Lighting

1x8 strip lighting and fire horn / strobe	exposed bulb, exposed conduit	6 - Replace
---	-------------------------------	-------------

WIT - 105A - Shower 3 - Fair

Description	Condition Comments	Rating
-------------	--------------------	--------

C - Interiors

C20 - Interior Finishes

C2010 - Wall Finishes

ceramic tile walls to ceiling	no cracking or missing tiles, in good shape	2 - Satisfactory
-------------------------------	---	------------------

C2030 - Flooring

Mosaic Ceramic Tile	Tile adhesive/grout is assumed ACM No missing tiles or cracking, in good shape	2 - Satisfactory
---------------------	---	------------------

C2050 - Ceiling Finishes

Plaster painted ceiling		3 - Fair
-------------------------	--	----------

D - Services

D50 - Electrical

D5020 - Lighting

metal halide light fixture in metal case		6 - Replace
--	--	-------------

WIT - 105B - Restroom - Women 3 - Fair

Description	Condition Comments	Rating
-------------	--------------------	--------

C - Interiors

C10 - Interior Construction

INTERIOR CONDITIONS

EXPANDED FACILITIES ASSESSMENT MATRICES - FIRST FLOOR

C1090 - Interior Specialties		
metal toilet partition, toilet paper dispenser		2 - Satisfactory
C20 - Interior Finishes		
C2010 - Wall Finishes		
ceramic tile walls to ceiling		3 - Fair
C2030 - Flooring		
Ceramic Tile	Tile adhesive/grout is assumed ACM mosaic floor tile	3 - Fair
ceeramic tile base		3 - Fair
D - Services		
D20 - Plumbing		
D2010.60 - Plumbing Fixtures		
wall mounted toilet with flush valve		2 - Satisfactory
WIT - 105C - Locker Room		
		3 - Fair
Description	Condition Comments	Rating
C - Interiors		
C10 - Interior Construction		
C1090 - Interior Specialties		
paper towel dispenser, and two soap dispensers, and a mirror		2 - Satisfactory
C20 - Interior Finishes		
C2010 - Wall Finishes		
Plaster walls, painted CMU at mech room 105	Cracking throughout plaster	4 - Poor
C2030 - Flooring		
Ceramic Tile base	Tile adhesive/grout is assumed ACM	3 - Fair
12x12 tan vct floor	vct is clean with a few chipped pieces, but overall in good shape, needs to be cleaned and waxed	3 - Fair
D - Services		
D20 - Plumbing		

D2010.60 - Plumbing Fixtures		
wall mounted sink	faucet is not ADA and should be replaced	3 - Fair
WIT - 106 - Storage		
		5 - Unsatisfactory
Description	Condition Comments	Rating
C - Exteriors		
C10 - Exterior Construction		
C1080 - Exterior openings		
Exterior window glazing	assumed ACM	5 - Unsatisfactory
C20 - Interior Finishes		
C2010 - Wall Finishes		
Plaster walls	Tile adhesive/grout is assumed ACM	5 - Unsatisfactory
D - Services		
D20 - Plumbing		
D2060 - Process Support Plumbing Systems		
Fiberglas pipe insulation	assumed ACM	5 - Unsatisfactory
WIT - 107 - Storage		
		5 - Unsatisfactory
Description	Condition Comments	Rating
- Interiors		
C20 - Interior Finishes		
C2060 - Architectural Woodwork		
built in wood shelving and wood picture rail		4 - Poor
C - Interiors		
C10 - Interior Construction		
C1030 - Interior Doors		
wood door and frame	half lite with textured glazing, non-ADA hardware	6 - Replace
C1080 - Exterior openings		
Exterior window glazing	Broken glazing, wood trim, wood double hung window	6 - Replace
C20 - Interior Finishes		
C2010 - Wall Finishes		
Plaster walls		4 - Poor

C2030 - Flooring		
Carpet and concrete Base		5 - Unsatisfactory
D - Services		
D20 - Plumbing		
D2060 - Process Support Plumbing Systems		
Fiberglass pipe insulation	assumed ACM, peeling off	5 - Unsatisfactory
D50 - Electrical		
D5020 - Lighting		
2x4 suspended fixtures		5 - Unsatisfactory
WIT - 108 - Restroom - Women		
		3 - Fair
Description	Condition Comments	Rating
C - Interiors		
C10 - Interior Construction		
C1030 - Interior Doors		
wood door and frame	half lite in door with push pull hardware, a door closer and textured glazing, very worn door, old closer hardware	4 - Poor
C1090 - Interior Specialties		
marble toilet partitions, one ADA sized	also wall mntd mirror, soap dispenser, sanitary napkin vending, and paper towel dispenser, each toilet has sanitary napkin dispenser, and toilet paper dispenser	3 - Fair
C20 - Interior Finishes		
C2010 - Wall Finishes		
painted plaster and 4x4 wall tile		3 - Fair
C2030 - Flooring		
Ceramic Tile, mosaic tile, 4x3 tile cove base on painted concrete base	Tile adhesive/grout is assumed ACM	3 - Fair
C2050 - Ceiling Finishes		
Plaster ceilings		3 - Fair
D - Services		
D20 - Plumbing		

INTERIOR CONDITIONS

EXPANDED FACILITIES ASSESSMENT MATRICES - FIRST FLOOR

D2010.60 - Plumbing Fixtures		
water closets with flush valve, two wall mounted sinks, one ADA,		4 - Poor

D2060 - Process Support Plumbing Systems		
Fittings on Fiberglass pipe insulation	ACM	2 - Satisfactory

D50 - Electrical		
D5020 - Lighting		
1x8 suspended strip lights	bare bulb, no lens	4 - Poor

WIT - 108A - Mechanical		
		4 - Poor

Description	Condition Comments	Rating
-------------	--------------------	--------

C - Interiors

C10 - Interior Construction

C1010.10 - Interior Fixed Partitions

brick and clay tile walls	walls have many holes in them from piping	5 - Unsatisfactory
---------------------------	---	--------------------

C20 - Interior Finishes

C2030 - Flooring

concrete floor, painted		3 - Fair
-------------------------	--	----------

C2050 - Ceiling Finishes

clay tile and concrete pan joist ceiling		3 - Fair
--	--	----------

E - Equipment & Furnishings

E10 - Equipment

E1090 - Other Equipment

Electrical Insulation	Assumed ACM, electrical cabinets are wall mounted	4 - Poor
-----------------------	---	----------

WIT - 109 - Restroom - Men		
		3 - Fair

Description	Condition Comments	Rating
-------------	--------------------	--------

C - Interiors

C10 - Interior Construction

C1030 - Interior Doors

wood door and frame	wood is peeling off	6 - Replace
---------------------	---------------------	-------------

C1090 - Interior Specialties		
paper towel dispenser, mirror, soap dispensers, floor mounted metal toilet partitions		4 - Poor

C20 - Interior Finishes

C2010 - Wall Finishes

Plaster Walls, and ceramic tile walls	Non-ACM, some cracking, needs to be repainted	3 - Fair
---------------------------------------	---	----------

C2030 - Flooring

Ceramic Tile and cove tile base	Tile adhesive / grout is assumed ACM	3 - Fair
---------------------------------	--------------------------------------	----------

C2050 - Ceiling Finishes

plaster ceiling	some peeling near the windows	4 - Poor
-----------------	-------------------------------	----------

D - Services

D20 - Plumbing

D2010.60 - Plumbing Fixtures

4 toilets and 2 urinals, 3 wall mounted sinks, one ADA		3 - Fair
--	--	----------

D2060 - Process Support Plumbing Systems

Fittings on Fiberglass pipe insulation	ACM	3 - Fair
--	-----	----------

WIT - 109A - Mechanical		
		4 - Poor

Description	Condition Comments	Rating
-------------	--------------------	--------

E - Equipment & Furnishings

E10 - Equipment

E1090 - Other Equipment

Electrical Insulation	Assumed ACM	4 - Poor
-----------------------	-------------	----------

WIT - 112A - Office		
		4 - Poor

Description	Condition Comments	Rating
-------------	--------------------	--------

C - Exteriors

C10 - Exterior Construction

C1080 - Exterior openings

Exterior Window Glazing	assumed ACM	4 - Poor
-------------------------	-------------	----------

C20 - Interior Finishes

C2010 - Wall Finishes		
Paneling	Mastic is assumed ACM	4 - Poor

Plaster walls		4 - Poor
---------------	--	----------

C2030 - Flooring

Carpet	worn and dirty	4 - Poor
--------	----------------	----------

C2050 - Ceiling Finishes

ACT		4 - Poor
-----	--	----------

D - Services

D20 - Plumbing

D2060 - Process Support Plumbing Systems

Fittings on Fiberglass pipe insulation	assumed ACM	5 - Unsatisfactory
--	-------------	--------------------

WIT - 112B - Office		
		4 - Poor

Description	Condition Comments	Rating
-------------	--------------------	--------

C - Exteriors

C10 - Exterior Construction

C1080 - Exterior openings

Exterior Window Glazing	assumed ACM	4 - Poor
-------------------------	-------------	----------

C20 - Interior Finishes

C2010 - Wall Finishes

Paneling	Mastic is assumed ACM, paneling is in decent shape, but has some holes and marks from things hung on it	4 - Poor
----------	---	----------

C2030 - Flooring

Carpet	Mastic is non-ACM	4 - Poor
--------	-------------------	----------

C2050 - Ceiling Finishes

2x2 ACT tile ceiling	newer tile	3 - Fair
----------------------	------------	----------

D - Services

D20 - Plumbing

D2060 - Process Support Plumbing Systems

Fittings on Fiberglass pipe insulation	assumed ACM, peeling, patched	5 - Unsatisfactory
--	-------------------------------	--------------------

WIT - 112C - Office		
		3 - Fair

Description	Condition Comments	Rating
-------------	--------------------	--------

C - Interiors

C10 - Interior Construction

INTERIOR CONDITIONS

EXPANDED FACILITIES ASSESSMENT MATRICES - FIRST FLOOR

C1020 - Interior Windows		
HM framed windows	two large one way mirrored windows viewed from room 112D into 112C	3 - Fair
C1080 - Exterior openings		
Exterior Window Glazing	assumed ACM	3 - Fair
C20 - Interior Finishes		
C2010 - Wall Finishes		
Plaster walls		3 - Fair
C2030 - Flooring		
Carpet and vinyl cove base	newer	3 - Fair
C2050 - Ceiling Finishes		
2x2 ACT Ceiling		3 - Fair
D - Services		
D50 - Electrical		
D5020 - Lighting		
2x4 recessed fluorescent fixtures		3 - Fair
WIT - 112D - Office		
3 - Fair		
Description	Condition Comments	Rating
C - Interiors		
C20 - Interior Finishes		
C2010 - Wall Finishes		
Plaster walls		3 - Fair
C2030 - Flooring		
Carpet and vinyl cove base		3 - Fair
C2050 - Ceiling Finishes		
ACT		3 - Fair
WIT - 112E - Storage		
3 - Fair		
Description	Condition Comments	Rating
C - Interiors		
C10 - Interior Construction		

C1030 - Interior Doors		
Hollow metal door and frame		3 - Fair
C20 - Interior Finishes		
C2010 - Wall Finishes		
Painted CMU and tile walls		3 - Fair
C2030 - Flooring		
Carpet, ceramic tile and vinyl cove base	Carpet and cove base adhesive is non-ACM Tile adhesive/ grout is assumed ACM	3 - Fair
C2050 - Ceiling Finishes		
2x2 ACT		3 - Fair
WIT - 114 - Office		
4 - Poor		
Description	Condition Comments	Rating
C - Interiors		
C10 - Interior Construction		
C1030 - Interior Doors		
Wood doors with patterned glass	Painted molding is chipped and doors do not have ADA hardware	4 - Poor
C1080 - Exterior openings		
Exterior Window Glazing	ACM	4 - Poor
C20 - Interior Finishes		
C2010 - Wall Finishes		
Plaster walls	Need to be patched and repainted	4 - Poor
C2030 - Flooring		
Carpet and ceramic tile wall base	Carpet mastic is assumed ACM Tile adhesive/ grout is assumed ACM Dirty and well worn	4 - Poor
D - Services		
D20 - Plumbing		
D2060 - Process Support Plumbing Systems		
Exposed piping	Insulation is assumed ACM will need to be removed	4 - Poor
D50 - Electrical		
D5020 - Lighting		
suspended 1x4 linear fixtures	Function but are not energy efficient and are very dated	4 - Poor
WIT - 114B - Office		
4 - Poor		
Description	Condition Comments	Rating

C - Interiors		
C10 - Interior Construction		
C1010.10 - Interior Fixed Partitions		
Plaster and wood paneled wall		4 - Poor
C20 - Interior Finishes		
C2030 - Flooring		
Carpeting with 4" vinyl base		4 - Poor
C2050 - Ceiling Finishes		
Plaster ceiling		3 - Fair
D - Services		
D50 - Electrical		
D5020 - Lighting		
Suspended 2x4 light fixtures		4 - Poor
WIT - 115 - Office		
5 - Unsatisfactory		
Description	Condition Comments	Rating
C - Exteriors		
C10 - Exterior Construction		
C1080 - Exterior openings		
Exterior Window glazing	assumed ACM	5 - Unsatisfactory
C20 - Interior Finishes		
C2010 - Wall Finishes		
Plaster walls		5 - Unsatisfactory
C2030 - Flooring		
Carpeting and ceramic tile or painted concrete base	Carpet mastic is non-ACM Tile adhesive/ grout is assumed ACM	5 - Unsatisfactory
WIT - 116 - Pool		
3 - Fair		
Description	Condition Comments	Rating
C - Interiors		
C20 - Interior Finishes		
C2030 - Flooring		
Ceramic Tile	Tile adhesive/grout is assumed ACM	3 - Fair
WIT - 117 - Seating		
3 - Fair		
Description	Condition Comments	Rating

INTERIOR CONDITIONS

EXPANDED FACILITIES ASSESSMENT MATRICES - FIRST FLOOR

C20 - Interior Finishes
C2030 - Flooring
Ceramic Tile Tile adhesive/grout is assumed ACM 3 - Fair

WIT - 124 - Office	2 - Satisfactory
---------------------------	------------------

Description	Condition Comments	Rating
-------------	--------------------	--------

C - Interiors

C10 - Interior Construction

C1030 - Interior Doors

wood door and frame ADA hardware	2 - Satisfactory
---------------------------------------	------------------

C1080 - Exterior openings

Exterior Window glazing Assumed ACM	2 - Satisfactory
--	------------------

C20 - Interior Finishes

C2010 - Wall Finishes

Plaster	2 - Satisfactory
---------	------------------

C2030 - Flooring

Carpet, and carpet base relatively new carpet and base	2 - Satisfactory
---	------------------

D - Services

D20 - Plumbing

D2060 - Process Support Plumbing Systems

Fittings on Fiberglass pipe insulation Assumed ACM	3 - Fair
---	----------

D50 - Electrical

D5020 - Lighting

Suspended 2x4 fluorescent light fixture	3 - Fair
---	----------

E - Equipment & Furnishings

E10 - Equipment

E1090 - Other Equipment

Residential ceiling fan	4 - Poor
-------------------------	----------

WIT - 125C - Storage

4 - Poor

Description	Condition Comments	Rating
-------------	--------------------	--------

C - Interiors

C10 - Interior Construction

C1010 - Interior Partitions
Plaster Partitions 4 - Poor

C1030 - Interior Doors

Wood double door Non-ADA hardware	4 - Poor
--	----------

C20 - Interior Finishes

C2030 - Flooring

Sealed Concrete	4 - Poor
-----------------	----------

E - Equipment & Furnishings

E10 - Equipment

E1090 - Other Equipment

Flammable Cabinet	8 - NA
-------------------	--------

WIT - 128 - Office

3 - Fair

Description	Condition Comments	Rating
-------------	--------------------	--------

C - Interiors

C10 - Interior Construction

C1030 - Interior Doors

Wood doors with wood frame and sidelites Doors have small lite in door, Non-ADA hardware	3 - Fair
---	----------

C20 - Interior Finishes

C2010 - Wall Finishes

Wood Wall Paneling Paneling mastic is assumed ACM	4 - Poor
--	----------

Plaster walls Some patching and painting is needed	3 - Fair
---	----------

C2030 - Flooring

Carpet and carpet wall base Newer looking carpeting, still worn and dirty	3 - Fair
--	----------

C2050 - Ceiling Finishes

2x4 ACT Ceiling Dated ceiling tile, some sagging of the panels	3 - Fair
---	----------

D - Services

D50 - Electrical

D5020 - Lighting

2x4 recessed fluorescent fixtures Relatively newer fixtures with plastic lens	3 - Fair
--	----------

WIT - 129 - Office

3 - Fair

Description	Condition Comments	Rating
-------------	--------------------	--------

C - Interiors

C20 - Interior Finishes

C2010 - Wall Finishes
Paneling on walls Paneling Mastic is assumed ACM 3 - Fair

Plaster walls no peeling	3 - Fair
-------------------------------	----------

C2030 - Flooring

Carpet, with vinyl base	3 - Fair
-------------------------	----------

C2050 - Ceiling Finishes

2x4 ACT	3 - Fair
---------	----------

D - Services

D50 - Electrical

D5020 - Lighting

1x4 recessed fluorescent fixtures	3 - Fair
-----------------------------------	----------

WIT - 130 - Office

3 - Fair

Description	Condition Comments	Rating
-------------	--------------------	--------

C - Interiors

C10 - Interior Construction

C1030 - Interior Doors

wood door and frame Non-ADA Hardware	3 - Fair
---	----------

C20 - Interior Finishes

C2010 - Wall Finishes

Paneling Paneling mastic is assumed ACM, with wood base	3 - Fair
--	----------

Plaster walls no peeling	3 - Fair
-------------------------------	----------

C2030 - Flooring

Carpet, with vinyl base worn	3 - Fair
-----------------------------------	----------

C2050 - Ceiling Finishes

2x4 ACT Fine fissured	3 - Fair
----------------------------	----------

D - Services

D20 - Plumbing

D2060 - Process Support Plumbing Systems

Fittings on Fiberglass pipe insulation assumed ACM	5 - Unsatisfactory
---	--------------------

WIT - 131 - Office

3 - Fair

Description	Condition Comments	Rating
-------------	--------------------	--------

C - Interiors

C20 - Interior Finishes

INTERIOR CONDITIONS

EXPANDED FACILITIES ASSESSMENT MATRICES - FIRST FLOOR

C2010 - Wall Finishes		
Paneling	Paneling mastic is assumed ACM	3 - Fair
Plaster walls	no peeling	3 - Fair
C2030 - Flooring		
Carpet	worn, dirty	3 - Fair
C2050 - Ceiling Finishes		
ACT	2x4 fine fissured	3 - Fair
D - Services		
D20 - Plumbing		
D2060 - Process Support Plumbing Systems		
Fittings on Fiberglass pipe insulation	assumed ACM	5 - Unsatisfactory
D50 - Electrical		
D5020 - Lighting		
recessed 1x4 fluorescent		3 - Fair
WIT - 132 - Office		
3 - Fair		
Description	Condition Comments	Rating
C - Interiors		
C20 - Interior Finishes		
C2010 - Wall Finishes		
Wall Paneling	Mastic is assumed ACM	4 - Poor
Plaster	no peeling	3 - Fair
C2030 - Flooring		
Carpet	worn, dirty	3 - Fair
C2050 - Ceiling Finishes		
2x4 ACT ceiling	Non-ACM	3 - Fair
D - Services		
D20 - Plumbing		
D2060 - Process Support Plumbing Systems		
Fittings on Fiberglass pipe insulation	assumed ACM	5 - Unsatisfactory
D50 - Electrical		
D5020 - Lighting		
2x4 recessed fluorescent lights		3 - Fair
WIT - 133 - Office		
3 - Fair		
Description	Condition Comments	Rating
C - Interiors		

C20 - Interior Finishes		
C2010 - Wall Finishes		
Plaster		3 - Fair
Paneling	Mastic is assumed ACM	4 - Poor
C2030 - Flooring		
Carpet	Worn	3 - Fair
C2050 - Ceiling Finishes		
ACT		3 - Fair
D - Services		
D20 - Plumbing		
D2060 - Process Support Plumbing Systems		
Fittings on Fiberglass pipe insulation	Is assumed non-ACM	5 - Unsatisfactory
WIT - 135 - Office		
3 - Fair		
Description	Condition Comments	Rating
C - Interiors		
C20 - Interior Finishes		
C2030 - Flooring		
carpet and vinyl wall base		3 - Fair
WIT - 137 - Office		
3 - Fair		
Description	Condition Comments	Rating
C - Interiors		
C10 - Interior Construction		
C1030 - Interior Doors		
wood doors and frames with sidelites and small window lite	Non-ADA hardware	3 - Fair
C20 - Interior Finishes		
C2010 - Wall Finishes		
wood paneling, painted, full height		4 - Poor
C2030 - Flooring		
carpet and carpet base		3 - Fair

C2050 - Ceiling Finishes		
2x4 ACT ceiling		3 - Fair
D - Services		
D50 - Electrical		
D5020 - Lighting		
1x4 recessed fluorescent lighting		3 - Fair
WIT - 139 - Copy		
3 - Fair		
Description	Condition Comments	Rating
C - Interiors		
C10 - Interior Construction		
C1030 - Interior Doors		
wood door and frame	ADA lever hardware	3 - Fair
C20 - Interior Finishes		
C2010 - Wall Finishes		
Ceramic wall Tile	Tile Adhesive/grout is assumed ACM	3 - Fair
Plaster walls	little peeling	3 - Fair
C2030 - Flooring		
12" tan floor tile and Adhesive	assumed ACM	6 - Replace
Vinyl Cove base and adhesive		3 - Fair
C2050 - Ceiling Finishes		
2x4 ACT		3 - Fair
WIT - 140 - Office		
3 - Fair		
Description	Condition Comments	Rating
C - Interiors		
C20 - Interior Finishes		
C2010 - Wall Finishes		
Plaster walls	no peeling	3 - Fair
Paneling	Mastic is assumed ACM	4 - Poor
C2030 - Flooring		
Carpet and vinyl base	worn	3 - Fair

INTERIOR CONDITIONS

EXPANDED FACILITIES ASSESSMENT MATRICES - FIRST FLOOR

C2050 - Ceiling Finishes		
2x4 ACT ceiling		3 - Fair

WIT - 152 - Corridor		
		3 - Fair

Description	Condition Comments	Rating
-------------	--------------------	--------

C - Interiors

C20 - Interior Finishes

C2010 - Wall Finishes

Plaster		3 - Fair
---------	--	----------

C2030 - Flooring

Epoxy flooring with concrete wall base and carpet runner entire length		3 - Fair
--	--	----------

D - Services

D50 - Electrical

D5020 - Lighting

Surface mounted lights and conduits		4 - Poor
-------------------------------------	--	----------

WIT - C112 - Corridor

--	--	--

Description	Condition Comments	Rating
-------------	--------------------	--------

C - Interiors

C20 - Interior Finishes

C2010 - Wall Finishes

Plaster walls		3 - Fair
---------------	--	----------

C2030 - Flooring

12" Tan Floor Tile and vinyl cove base	Adhesive is non-ACM	3 - Fair
--	---------------------	----------

C2050 - Ceiling Finishes

2x2 ACT Ceiling		3 - Fair
-----------------	--	----------

WIT - C118A - Corridor

		4 - Poor
--	--	----------

Description	Condition Comments	Rating
-------------	--------------------	--------

C - Interiors

C20 - Interior Finishes

C2030 - Flooring		
concrete	paint is flaking off	4 - Poor

WIT - C122 - Corridor		
		4 - Poor

Description	Condition Comments	Rating
-------------	--------------------	--------

C - Interiors

C20 - Interior Finishes

C2010 - Wall Finishes

Plaster walls, mosaic tile	paint is peeling, tile is chipped and dirty	4 - Poor
----------------------------	---	----------

C2030 - Flooring

carpeting / concrete wall base	paint is peeling from wall base	4 - Poor
--------------------------------	---------------------------------	----------

C2050 - Ceiling Finishes

Painted plaster ceiling		4 - Poor
-------------------------	--	----------

D - Services

D10 - Conveying Systems

D1010.10 - Elevators

Elevator Doors are assumed ACM		6 - Replace
--------------------------------	--	-------------

D20 - Plumbing

D2060 - Process Support Plumbing Systems

Fiberglass pipe insulation	assumed ACM	5 - Unsatisfactory
----------------------------	-------------	--------------------

WIT - C122A - Vestibule

		4 - Poor
--	--	----------

Description	Condition Comments	Rating
-------------	--------------------	--------

- Interiors

C20 - Interior Finishes

C2060 - Architectural Woodwork

Wood chair rail		3 - Fair
-----------------	--	----------

C - Exteriors

C10 - Exterior Construction

C1080 - Exterior openings

newer aluminum door	door has electric operation for ADA	2 - Satisfactory
---------------------	-------------------------------------	------------------

C20 - Interior Finishes

C2010 - Wall Finishes		
Plaster walls	chipped and cracked	5 - Unsatisfactory

C2030 - Flooring		
walk off carpeting	worn and dirty	3 - Fair

E - Equipment & Furnishings

E10 - Equipment

E1090 - Other Equipment

wall mounted cabinet unit hear, simplex annunciator panel		8 - NA
---	--	--------

WIT - C123 - Corridor

		3 - Fair
--	--	----------

Description	Condition Comments	Rating
-------------	--------------------	--------

- Interiors

C20 - Interior Finishes

C2060 - Architectural Woodwork

Wood chair rail		3 - Fair
-----------------	--	----------

Wood wall mounted coat rack		3 - Fair
-----------------------------	--	----------

C - Interiors

C10 - Interior Construction

C1010.10 - Interior Fixed Partitions

Plaster walls		3 - Fair
---------------	--	----------

C20 - Interior Finishes

C2030 - Flooring

Epoxy floor, with concrete wall base	cracking, and worn in highly traveled areas	4 - Poor
--------------------------------------	---	----------

C2050 - Ceiling Finishes

Plaster ceiling		3 - Fair
-----------------	--	----------

WIT - C125 - Corridor

		3 - Fair
--	--	----------

Description	Condition Comments	Rating
-------------	--------------------	--------

- Interiors

C20 - Interior Finishes

C2060 - Architectural Woodwork

wood trim	wood is in good condition,	3 - Fair
-----------	----------------------------	----------

C - Interiors

C10 - Interior Construction

INTERIOR CONDITIONS

EXPANDED FACILITIES ASSESSMENT MATRICES - FIRST FLOOR

C1010.10 - Interior Fixed Partitions		
plaster walls	some cracking	3 - Fair
C20 - Interior Finishes		
C2030 - Flooring		
Epoxy floor with concrete wall base	cracking throughout, chips, wear areas	6 - Replace
C2050 - Ceiling Finishes		
Plaster ceiling	Some cracking and peeling	4 - Poor
D - Services		
D20 - Plumbing		
D2060 - Process Support Plumbing Systems		
Exposed piping for cabinet unit heaters, insulated	insulation is patched, and peeling off in places	5 - Unsatisfactory
D50 - Electrical		
D5020 - Lighting		
pendant 2x4 fixtures	exposed conduit, pendant light fixtures	4 - Poor
E - Equipment & Furnishings		
E20 - Furnishings		
E2010 - Fixed Furnishings		
wood built in benches	wood is worn, but in descent condition for the age	3 - Fair
WIT - C125B - Vestibule		
3 - Fair		
Description	Condition Comments	Rating
C - Interiors		
C10 - Interior Construction		
C1030 - Interior Doors		
Aluminum entrance doors with transom		3 - Fair
C20 - Interior Finishes		
C2010 - Wall Finishes		
Plaster		3 - Fair
C2030 - Flooring		
Carpet	Worn and dirty	3 - Fair
C2050 - Ceiling Finishes		
painted plaster ceiling		3 - Fair
D - Services		
D50 - Electrical		

D5020 - Lighting		
Surface mounted 2x4 fluorescent light fixture		4 - Poor
WIT - C126 - Corridor		
4 - Poor		
Description	Condition Comments	Rating
C - Interiors		
C10 - Interior Construction		
C1090 - Interior Specialties		
painted steel handrails both sides of corridor	all are anchored to wall well, paint is in good condition, not sure the use of these	3 - Fair
C20 - Interior Finishes		
C2010 - Wall Finishes		
Painted plaster walls		4 - Poor
C2030 - Flooring		
ceramic tile flooring, with tile base		3 - Fair
C2050 - Ceiling Finishes		
plaster ceiling	flaking off	5 - Unsatisfactory
D - Services		
D50 - Electrical		
D5020 - Lighting		
2x4 suspended light fixtures		4 - Poor
WIT - C126A - Vestibule		
4 - Poor		
Description	Condition Comments	Rating
C - Interiors		
C10 - Interior Construction		
C1030 - Interior Doors		
Newer aluminum entrance door		3 - Fair
C1080 - Exterior openings		
Interior window and door with sidelite is wood with textured glass		3 - Fair
C20 - Interior Finishes		

C2010 - Wall Finishes		
Plaster	Non-ACM	4 - Poor
C2030 - Flooring		
tile base with walk off carpeting		4 - Poor
D - Services		
D20 - Plumbing		
D2060 - Process Support Plumbing Systems		
Pipe Wrap	Cardboard pipe insulation and fittings are assumed ACM all is peeling off, some areas are missing insulation	5 - Unsatisfactory
D50 - Electrical		
D5020 - Lighting		
suspended 1x4 light fixture		4 - Poor
WIT - C138 - Corridor		
3 - Fair		
Description	Condition Comments	Rating
C - Interiors		
C10 - Interior Construction		
C1030 - Interior Doors		
Wood doors with wood frame, and sidelites	Doors have small lite in door, non-ADA hardware	3 - Fair
C20 - Interior Finishes		
C2010 - Wall Finishes		
Plaster walls	Some patching and painting is needed	3 - Fair
C2030 - Flooring		
Carpet with carpet wall base	Newer looking carpeting, still worn and dirty	3 - Fair
C2050 - Ceiling Finishes		
2x4 act	Dated ceiling tile, some sagging of the panels	4 - Poor
D - Services		
D50 - Electrical		
D5020 - Lighting		
2x4 recessed light fixtures	Relatively newer fluorescent fixtures	3 - Fair
WIT - C143 - Corridor		
4 - Poor		
Description	Condition Comments	Rating

INTERIOR CONDITIONS

EXPANDED FACILITIES ASSESSMENT MATRICES - FIRST FLOOR

- Interiors		
C20 - Interior Finishes		
C2060 - Architectural Woodwork		
wood chair rail and wood benches	wood is in good shape, reuse if possible	3 - Fair
C - Interiors		
C10 - Interior Construction		
C1090 - Interior Specialties		
metal wall mounted handrails in corridors	should be removed	2 - Satisfactory
C20 - Interior Finishes		
C2010 - Wall Finishes		
painting plaster walls		3 - Fair
C2030 - Flooring		
carpeting with painted concrete base	paint is peeling and chipping, large cracks in base, chunks of concrete are missing	5 - Unsatisfactory
C2050 - Ceiling Finishes		
painting plaster	paint is peeling and flaking off	5 - Unsatisfactory
WIT - J121 - Custodian		
5 - Unsatisfactory		
Description	Condition Comments	Rating
C - Interiors		
C20 - Interior Finishes		
C2010 - Wall Finishes		
wall paper on west wall	peeling and flaking off	5 - Unsatisfactory
C2030 - Flooring		
Carpet	Mastic is non-ACM	6 - Replace
C2050 - Ceiling Finishes		
	plaster ceiling flaking and peeling at pipe penetrations	5 - Unsatisfactory
D - Services		
D20 - Plumbing		
D2060 - Process Support Plumbing Systems		
Fittings on Fiberglass pipe insulation	assumed ACM	5 - Unsatisfactory
WIT - M105 - Mechanical		
3 - Fair		
Description	Condition Comments	Rating
C - Interiors		
C10 - Interior Construction		

C1030 - Interior Doors		
wood door and frame with small lite	Hardware is non-ADA	3 - Fair
C1090 - Interior Specialties		
Fire Stop (Brown)	ACM, did not view any firestop	4 - Poor
C20 - Interior Finishes		
C2010 - Wall Finishes		
Plaster walls, and painted CMU	Non-ACM	4 - Poor
C2030 - Flooring		
12" Tan Floor Tile	Adhesive is ACM	3 - Fair
C2050 - Ceiling Finishes		
plaster ceiling		3 - Fair
D - Services		
D50 - Electrical		
D5020 - Lighting		
1x8 suspended tube light		3 - Fair
E - Equipment & Furnishings		
E10 - Equipment		
E1090 - Other Equipment		
air handling unit in this space		6 - Replace
WIT - P110 - Locker Room - Men		
3 - Fair		
Description	Condition Comments	Rating
C - Interiors		
C20 - Interior Finishes		
C2010 - Wall Finishes		
Plaster and painted CMU walls	Peeling and flaking	4 - Poor
C2030 - Flooring		
Carpet and vinyl cove base	newer	3 - Fair
C2050 - Ceiling Finishes		
2x2 ACT		3 - Fair
D - Services		
D50 - Electrical		

D5020 - Lighting		
2x4 recessed fluorescent lighting		3 - Fair
WIT - P110A - Toilet		
3 - Fair		
Description	Condition Comments	Rating
C - Interiors		
C10 - Interior Construction		
C1090 - Interior Specialties		
plastic toilet partition door, grab bars, toilet paper dispenser, paper towel dispenser, mirror, wall mounted soap dispenser		3 - Fair
C20 - Interior Finishes		
C2010 - Wall Finishes		
wall tile up to ceiling		3 - Fair
C2030 - Flooring		
Ceramic Tile	Tile adhesive/grout is assumed ACM	3 - Fair
C2050 - Ceiling Finishes		
painting plaster ceiling		3 - Fair
D - Services		
D20 - Plumbing		
D2010.60 - Plumbing Fixtures		
toilet and wall mounted sink	ADA controls on faucet	3 - Fair
D50 - Electrical		
D5020 - Lighting		
recessed down light		3 - Fair
WIT - P110B - Shower		
5 - Unsatisfactory		
Description	Condition Comments	Rating
C - Interiors		
C20 - Interior Finishes		
C2010 - Wall Finishes		
Plaster walls and ceramic tile walls	painting CMU walls at east side	4 - Poor

EXPANDED FACILITIES ASSESSMENT MATRICES - FIRST FLOOR

C2030 - Flooring		
Ceramic Tile floor	Tile adhesive/grout is assumed ACM, cracked tiles, worn	5 - Unsatisfactory
C2050 - Ceiling Finishes		
plaster ceiling, cracked and flaking		5 - Unsatisfactory
D - Services		
D50 - Electrical		
D5020 - Lighting		
2x4 suspended fluorescent fixtures	industrial type fixtures	5 - Unsatisfactory
E - Equipment & Furnishings		
E20 - Furnishings		
E2010 - Fixed Furnishings		
1x6ft metal lockers	rusted, not all function properly	5 - Unsatisfactory
wood and metal leg benches	very used condition	4 - Poor
WIT - P110C - Locker Room - Men		
5 - Unsatisfactory		
Description	Condition Comments	Rating
C - Exteriors		
C10 - Exterior Construction		
C1080 - Exterior openings		
Exterior window Glazing	ACM	4 - Poor
C20 - Interior Finishes		
C2010 - Wall Finishes		
Plaster walls and ceramic tile walls	painted CMU walls at east side	4 - Poor
C2030 - Flooring		
Ceramic Tile floor and base	Tile adhesive/grout is assumed ACM, tiles are worn and broken/ cracked	5 - Unsatisfactory
C2050 - Ceiling Finishes		
plaster ceiling, cracked and flaking		5 - Unsatisfactory
D - Services		
D20 - Plumbing		
D2060 - Process Support Plumbing Systems		
Fittings on Fiberglass pipe insulation	ACM	5 - Unsatisfactory
E - Equipment & Furnishings		
E20 - Furnishings		

E2010 - Fixed Furnishings		
1x6 ft metal lockers	rusted, not all function properly	5 - Unsatisfactory
wood and metal leg benches	Very used condition	4 - Poor
WIT - P118 - Locker Room - Women		
4 - Poor		
Description	Condition Comments	Rating
C - Interiors		
C20 - Interior Finishes		
C2010 - Wall Finishes		
Plaster walls, marbel panels on exterior walls	needs to be repainted	4 - Poor
C2030 - Flooring		
Ceramic Tile with tile base	Tile Adhesive/Grout is assumed ACM	3 - Fair
C2050 - Ceiling Finishes		
Painted plaster ceiling		5 - Unsatisfactory
D - Services		
D20 - Plumbing		
D2010.60 - Plumbing Fixtures		
toilets are flush valves, ADA shower and regular provided, sinks area ADA wall mounted		3 - Fair
D2060 - Process Support Plumbing Systems		
Pipe Wrap	Cardboard Pipe Wrap is assumed ACM	4 - Poor
E - Equipment & Furnishings		
E10 - Equipment		
E1090 - Other Equipment		
cabinet unit heater recessed in exterior walls below windows near toilet room		5 - Unsatisfactory
E20 - Furnishings		
E2010 - Fixed Furnishings		
metal lockers with sloped tops	some rusted, not all are in working order	4 - Poor
WIT - P119 - Shower		
4 - Poor		
Description	Condition Comments	Rating
C - Interiors		
C20 - Interior Finishes		

C2010 - Wall Finishes		
Plaster walls		4 - Poor
C2030 - Flooring		
Ceramic Tile	Tile adhesive/grout is assumed ACM	4 - Poor
WIT - P120 - Toilet		
4 - Poor		
Description	Condition Comments	Rating
C - Interiors		
C20 - Interior Finishes		
C2010 - Wall Finishes		
Plaster walls		4 - Poor
C2030 - Flooring		
Ceramic Tile	Tile Adhesive/ grout is assumed ACM	3 - Fair
D - Services		
D20 - Plumbing		
D2060 - Process Support Plumbing Systems		
Pipe Wrap	Cardboard Pipe Wrap is assumed ACM	5 - Unsatisfactory
WIT - P141 - Custodian		
5 - Unsatisfactory		
Description	Condition Comments	Rating
C - Interiors		
C10 - Interior Construction		
C1090 - Interior Specialties		
Wood wall mounted shelving	very old, dirty, not very sturdy	6 - Replace
C20 - Interior Finishes		
C2010 - Wall Finishes		
Plaster walls	cracked and peeling	5 - Unsatisfactory
C2030 - Flooring		
Ceramic wall tile	Adhesive/ grout is assumed ACM	5 - Unsatisfactory
painting concrete, vinyl wall base		5 - Unsatisfactory
D - Services		
D20 - Plumbing		
D2010.60 - Plumbing Fixtures		
wall mounted mop sink		4 - Poor
WIT - S117A - Stair		
4 - Poor		
Description	Condition Comments	Rating
C - Interiors		

EXPANDED FACILITIES ASSESSMENT MATRICES - FIRST FLOOR

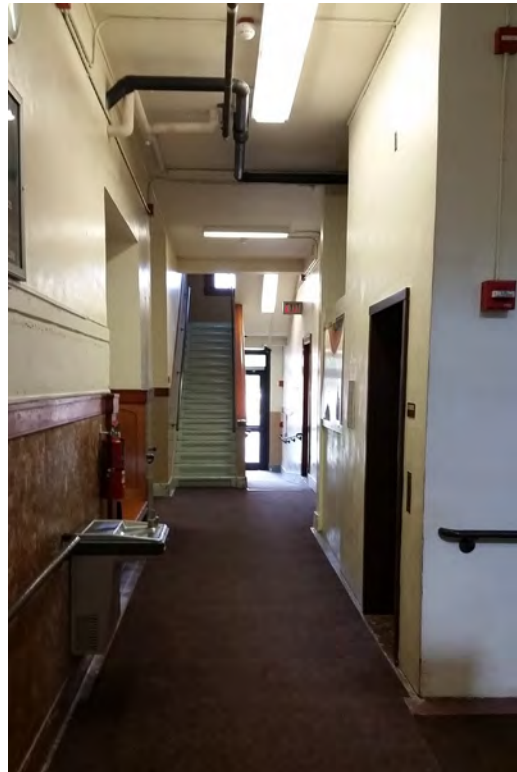
C10 - Interior Construction		
C1010.10 - Interior Fixed Partitions		
metal stud and gwb partition at door		4 - Poor
C1030 - Interior Doors		
wood door / metal frame		3 - Fair
C20 - Interior Finishes		
C2010 - Wall Finishes		
plaster and paint	chipped and cracking	4 - Poor
C2040 - Stair Finishes		
Ceramic tile	cracking and chipped tiles	4 - Poor
C2050 - Ceiling Finishes		
plaster		3 - Fair
WIT - S122 - Stair		
4 - Poor		
Description	Condition Comments	Rating
C - Interiors		
C10 - Interior Construction		
C1030 - Interior Doors		
New doors/Windows	New aluminum entrance door	3 - Fair
C20 - Interior Finishes		
C2010 - Wall Finishes		
Plaster walls		4 - Poor
C2030 - Flooring		
Carpet walk off mat, concrete stair treads and risers	Mastic is non-ACM, paint is peeling and chipping off	5 - Unsatisfactory
D - Services		
D20 - Plumbing		
D2060 - Process Support Plumbing Systems		
Fittings on Fiberglass pipe insulation	assumed ACM	5 - Unsatisfactory
WIT - S123A - Stair		
4 - Poor		
Description	Condition Comments	Rating
- Interiors		
C20 - Interior Finishes		

C2060 - Architectural Woodwork		
wood chair rail, wood cap on stair wall	worn down edges but not in bad shape	3 - Fair
C - Interiors		
C10 - Interior Construction		
C1010.10 - Interior Fixed Partitions		
Plaster walls		3 - Fair
C1030 - Interior Doors		
exterior aluminum door with transom and sidelite	push pull hardware with closer, Kawneer door, dark bronze or black	2 - Satisfactory
C20 - Interior Finishes		
C2030 - Flooring		
concrete stair treads, carpet walk off mats, painted concrete wall base	rubber transitions	4 - Poor
C2040 - Stair Finishes		
painted metal handrail, painted plaster	both sides, no extension	6 - Replace
C2050 - Ceiling Finishes		
painted plaster	cracks	3 - Fair
D - Services		
D50 - Electrical		
D5020 - Lighting		
2x4 surface mounted fixture		4 - Poor
WIT - S125A - Stair		
4 - Poor		
Description	Condition Comments	Rating
C - Interiors		
C20 - Interior Finishes		
C2040 - Stair Finishes		
Painted terrazzo finish	cracked and worn down to concrete in many places	4 - Poor
WIT - S126B - Stair		
4 - Poor		
Description	Condition Comments	Rating
- Interiors		
C20 - Interior Finishes		

C2060 - Architectural Woodwork		
wood chair rail and wall cap	good condition could be refinished and reused	3 - Fair
C - Interiors		
C10 - Interior Construction		
C1010.10 - Interior Fixed Partitions		
Painted plaster walls		3 - Fair
C20 - Interior Finishes		
C2040 - Stair Finishes		
Resinous flooring over concrete stairs	Floor finish is worn off in many locations, chunks of concrete have broken off some of the treads	5 - Unsatisfactory

INTERIOR CONDITIONS

GENERAL BUILDING CIRCULATION- FIRST FLOOR PHOTOS



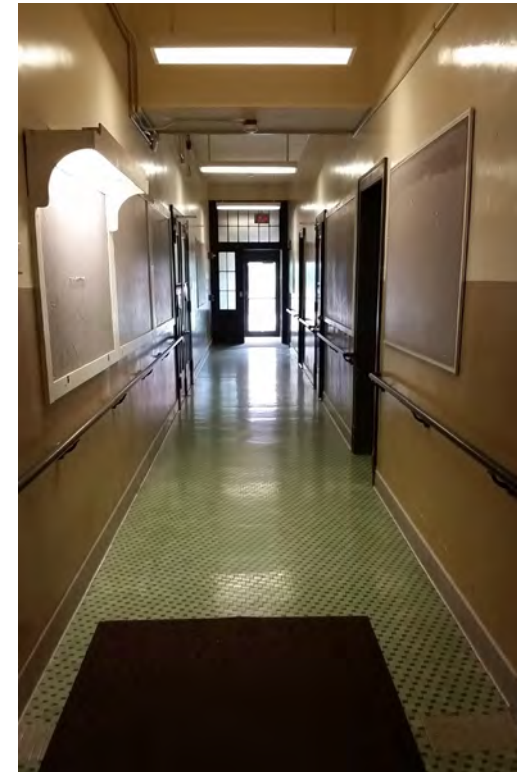
CORRIDOR-C122



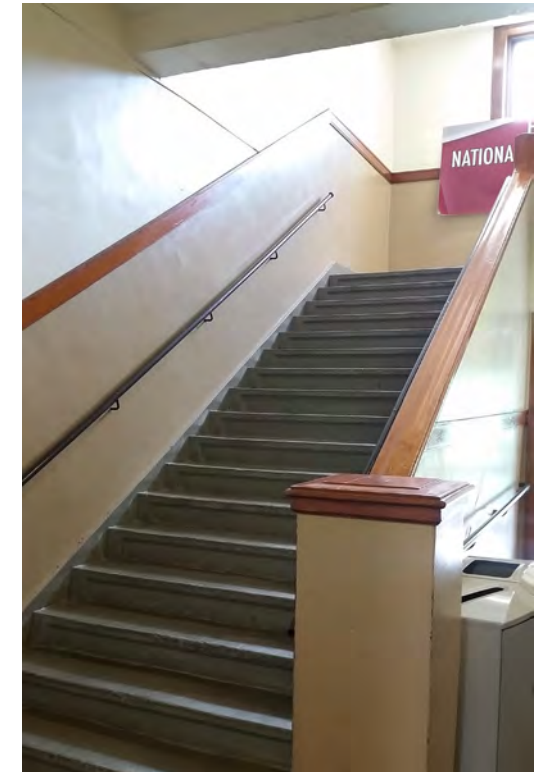
CORRIDOR-C123



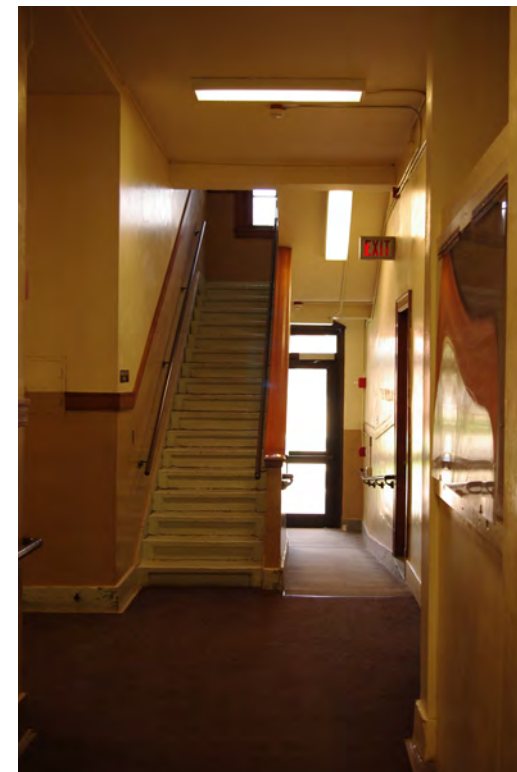
CORRIDOR-C125



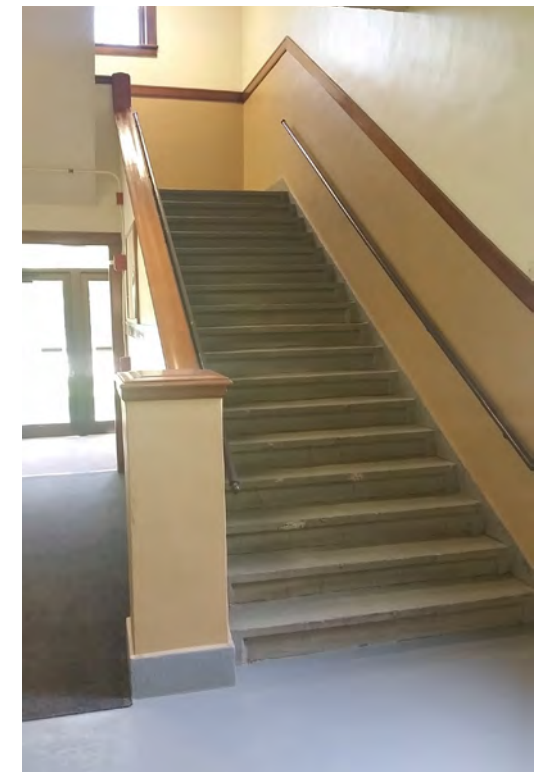
CORRIDOR-C126



STAIR-S126B



STAIR-S122



STAIR-S125A

INTERIOR CONDITIONS

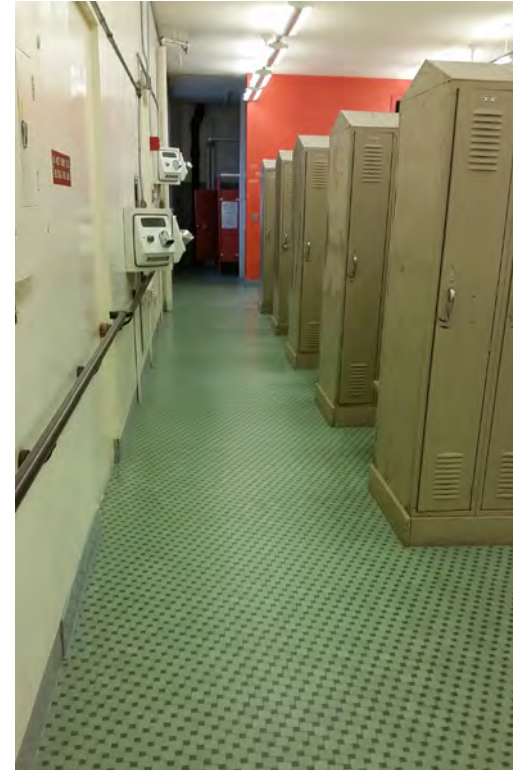
GENERAL BUILDING SERVICES (LOCKERS / TOILETS AND MECHANICAL) - FIRST FLOOR PHOTOS



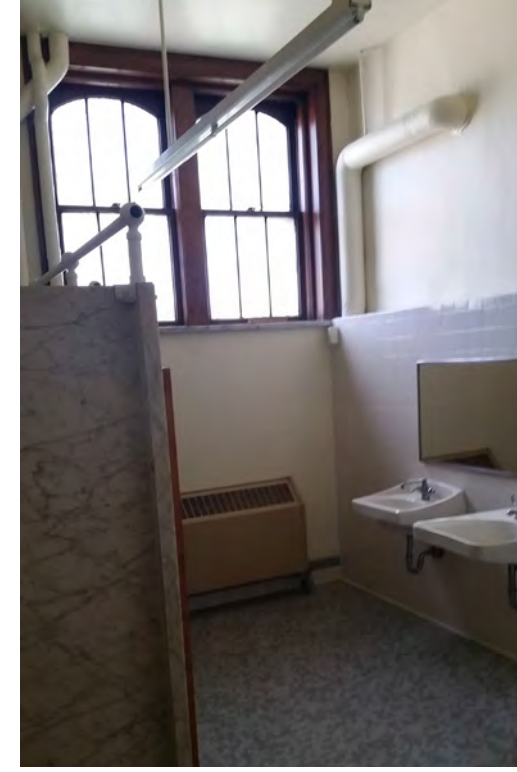
LOCKER RM-P110C-01



LOCKER RM-P110C-02



LOCKER RM-P118



TOILET RM-108



TOILET RM-109



MECH-108A

INTERIOR CONDITIONS

OFFICE AND SPECIAL USE - FIRST FLOOR PHOTOS



OFFICE-104D



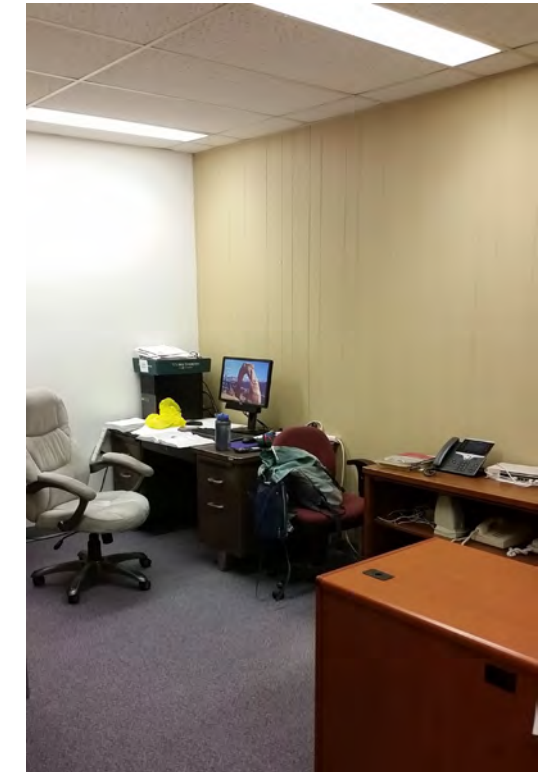
OFFICE-112C



OFFICE-114



OFFICE-114B



OFFICE-129



POOL-116-01



POOL-116-02

INTERIOR CONDITIONS

EXPANDED FACILITIES ASSESSMENT MATRICES - SECOND FLOOR

WIT - 201 - Gym			4 - Poor
Description	Condition Comments	Rating	
C - Interiors			
C10 - Interior Construction			
C1030 - Interior Doors			
wood door and frame	half lite glazing with textured bubble glass	4 - Poor	
C1080 - Exterior openings			
Exterior window glazing	Exterior windows all have metal cages on them that open up, windows are double hung on lower half of window	4 - Poor	
C20 - Interior Finishes			
C2010 - Wall Finishes			
Plaster walls	Extensive cracking and peeling throughout the entire room	6 - Replace	
brick wall		3 - Fair	
C2030 - Flooring			
wood plank flooring throughout	in good condition, could be reused or repurposed	3 - Fair	
painting brick wall base with large wood shoe moulding	wood moulding is deteriorating extensively	5 - Unsatisfactory	
C2050 - Ceiling Finishes			
Ceiling tile is tectum tile		4 - Poor	
WIT - 201A - Storage			4 - Poor
Description	Condition Comments	Rating	
C - Interiors			
C20 - Interior Finishes			
C2010 - Wall Finishes			
Plaster walls		4 - Poor	
C2030 - Flooring			
Concrete floor with concrete wall base		4 - Poor	
C2050 - Ceiling Finishes			
Painted Plaster ceiling		4 - Poor	
D - Services			
D20 - Plumbing			

D2060 - Process Support Plumbing Systems			5 - Unsatisfactory
Pipe Wrap	Cardboard pipe wrap and fittings are assumed ACM	5 - Unsatisfactory	
WIT - 203 - Gym			4 - Poor
Description	Condition Comments	Rating	
C - Interiors			
C10 - Interior Construction			
C1030 - Interior Doors			
Wood doors and frames	Non-ADA hardware	4 - Poor	
C1080 - Exterior openings			
Exterior Window Glazing	Windows do not close properly	4 - Poor	
windows at third floor are glass block with vents, second floor are thin wood windows, most don't close very well		5 - Unsatisfactory	
C20 - Interior Finishes			
C2010 - Wall Finishes			
Plaster walls and brick walls, with wood moulding	Plaster walls are cracked and have cracking all along the base where it meets the wood	5 - Unsatisfactory	
C2030 - Flooring			
wood plank flooring	Has wear and tear, some paint and tape marks, generally in decent shape, could be reused	3 - Fair	
metal wall base with wood shoe moulding entire room		4 - Poor	
C2050 - Ceiling Finishes			
concrete ceiling with plaster finish	plaster finish is peeling off in many places	5 - Unsatisfactory	
D - Services			
D20 - Plumbing			
D2060 - Process Support Plumbing Systems			
Fiberglass pipe insulation	assumed ACM	4 - Poor	
D50 - Electrical			

D5020 - Lighting			4 - Poor
2x4 surface mounted fixtures under the running track, large can lights hanging from exposed steel structure at third		4 - Poor	
WIT - 204 - Storage			3 - Fair
Description	Condition Comments	Rating	
C - Interiors			
C10 - Interior Construction			
C1020 - Interior Windows			
Exterior Window Glazing	assumed ACM	3 - Fair	
C20 - Interior Finishes			
C2010 - Wall Finishes			
Plaster walls	corners are pretty beaten up but the rest of the walls are not in bad condition	3 - Fair	
C2030 - Flooring			
Wood gymnasium flooring with wood base	pretty beaten up	3 - Fair	
C2050 - Ceiling Finishes			
Painted plaster ceiling		3 - Fair	
D - Services			
D20 - Plumbing			
D2060 - Process Support Plumbing Systems			
Fiberglass pipe insulation	assumed ACM, peeling off and missing	5 - Unsatisfactory	
E - Equipment & Furnishings			
E20 - Furnishings			
E2010 - Fixed Furnishings			
Metal lockers and wood locker room benches	beaten up, not all lockers function	4 - Poor	
WIT - 205 - Storage			5 - Unsatisfactory
Description	Condition Comments	Rating	
- Interiors			
C20 - Interior Finishes			

INTERIOR CONDITIONS

EXPANDED FACILITIES ASSESSMENT MATRICES - SECOND FLOOR

C2060 - Architectural Woodwork			3 - Fair
Wood Coat rack molding and picture rail around the room			
C - Exteriors			
C10 - Exterior Construction			
C1080 - Exterior openings			
Exterior Window glazing	ACM		4 - Poor
C20 - Interior Finishes			
C2010 - Wall Finishes			
plastered walls			4 - Poor
C2030 - Flooring			
concrete with painted terrazzo finish and concrete wall base			4 - Poor
C2050 - Ceiling Finishes			
Plaster ceiling	Cracked and peeling		5 - Unsatisfactory
D - Services			
D20 - Plumbing			
D2060 - Process Support Plumbing Systems			
Fiberglass pipe insulation	assumed ACM		5 - Unsatisfactory
D50 - Electrical			
D5020 - Lighting			
bare incandescent bulb			6 - Replace
WIT - 210 - Storage			4 - Poor
Description	Condition Comments	Rating	
C - Interiors			
C20 - Interior Finishes			
C2010 - Wall Finishes			
Plaster walls	non-ACM		4 - Poor
C2030 - Flooring			
concrete, with concrete base	plastered		4 - Poor
C2050 - Ceiling Finishes			
plaster			4 - Poor
WIT - C208 - Corridor			4 - Poor
Description	Condition Comments	Rating	
C - Exteriors			

C10 - Exterior Construction			
C1080 - Exterior openings			
Exterior Window glazing	assumed ACM		4 - Poor
C20 - Interior Finishes			
C2010 - Wall Finishes			
Plaster walls			4 - Poor
D - Services			
D10 - Conveying Systems			
D1010.10 - Elevators			
Elevator doors			4 - Poor
D20 - Plumbing			
D2060 - Process Support Plumbing Systems			
Fiberglass pipe insulation	assumed ACM		5 - Unsatisfactory
WIT - S206 - Stair			4 - Poor
Description	Condition Comments	Rating	
C - Exteriors			
C10 - Exterior Construction			
C1080 - Exterior openings			
Exterior Window Glazing	assumed ACM		4 - Poor
C20 - Interior Finishes			
C2010 - Wall Finishes			
Plaster walls			4 - Poor
D - Services			
D20 - Plumbing			
D2060 - Process Support Plumbing Systems			
Fiberglass pipe insulation	assumed ACM		4 - Poor
WIT - S207 - Stair			4 - Poor
Description	Condition Comments	Rating	
C - Exteriors			
C10 - Exterior Construction			

C1080 - Exterior openings			
Exterior window glazing	assumed ACM		4 - Poor
C20 - Interior Finishes			
C2010 - Wall Finishes			
Plaster walls			4 - Poor
D - Services			
D20 - Plumbing			
D2060 - Process Support Plumbing Systems			
Fiberglass pipe insulation	assumed ACM, peeling off and missing		5 - Unsatisfactory
WIT - S209 - Stair			4 - Poor
Description	Condition Comments	Rating	
C - Exteriors			
C10 - Exterior Construction			
C1080 - Exterior openings			
Exterior Window Glazing	assumed ACM		4 - Poor
C20 - Interior Finishes			
C2010 - Wall Finishes			
Plaster walls	peeling		4 - Poor

INTERIOR CONDITIONS

SPECIAL USE (GYMNASIUM) - SECOND FLOOR PHOTOS



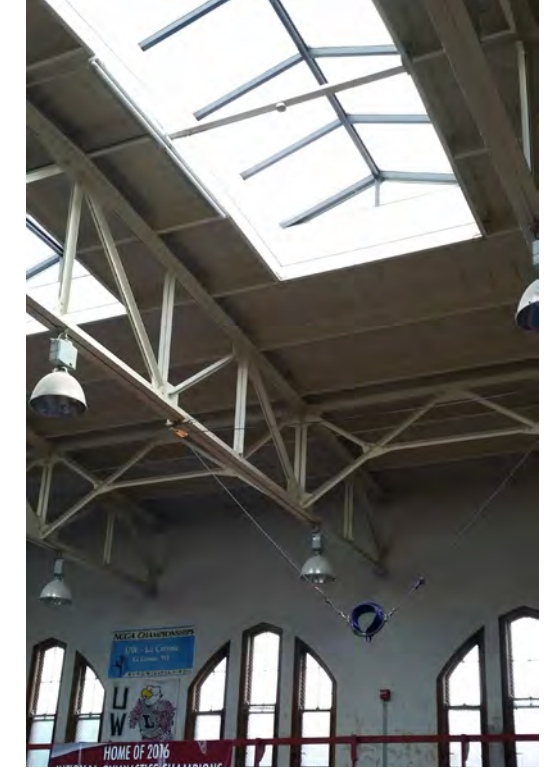
GYM-201-01



GYM-201-02



GYM-201-03



GYM-201-04

INTERIOR CONDITIONS

SPECIAL USE (GYMNASIUM) - SECOND FLOOR PHOTOS



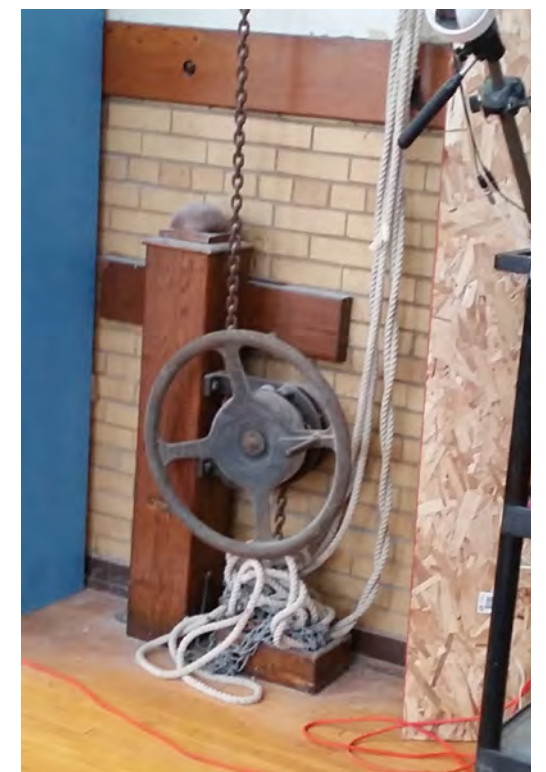
GYM-203-01



GYM-203-02



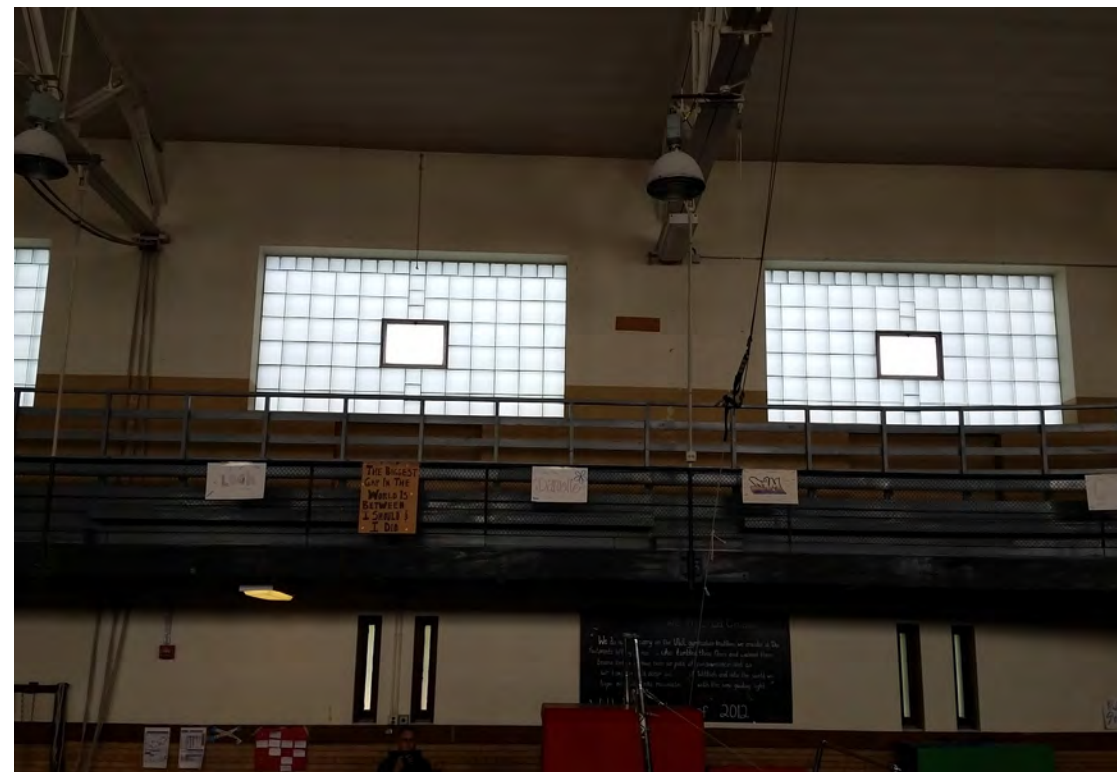
GYM-203-03



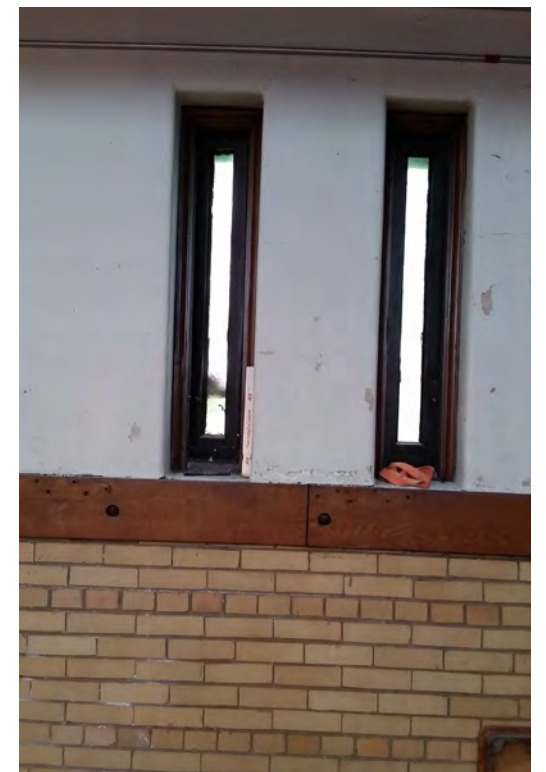
GYM-203-06



GYM-203-04



GYM-203-05



GYM-203-07

INTERIOR CONDITIONS

GENERAL BUILDING STORAGE AND CIRCULATION



STORAGE-201A



STORAGE-204



STAIR-S206

INTERIOR CONDITIONS

EXPANDED FACILITIES ASSESSMENT MATRICES - THIRD FLOOR

WIT - 302 - Office			5 - Unsatisfactory	
Description	Condition Comments	Rating		
- Interiors				
C20 - Interior Finishes				
C2060 - Architectural Woodwork				
Wood floor base 8"		3 - Fair		
C - Exteriors				
C10 - Exterior Construction				
C1080 - Exterior openings				
Exterior Window Glazing		4 - Poor		
C20 - Interior Finishes				
C2010 - Wall Finishes				
Plaster walls		4 - Poor		
C2030 - Flooring				
Carpet	Carpet is shredded and tearing apart	6 - Replace		
C2050 - Ceiling Finishes				
2x4 ACT	Sagging and dirty	6 - Replace		
D - Services				
D50 - Electrical				
D5020 - Lighting				
2x4 surface mounted light fixtures		4 - Poor		
WIT - 303 - Storage				5 - Unsatisfactory
Description	Condition Comments	Rating		
C - Interiors				
C10 - Interior Construction				
C1030 - Interior Doors				
wood door and frame with half light	glazing is textured	5 - Unsatisfactory		
C20 - Interior Finishes				
C2030 - Flooring				
Carpeting, with concrete painted base	Carpet is shredded and backing can be seen attached to floor in several places	6 - Replace		

C2050 - Ceiling Finishes				
2x4 ACT ceiling	many water marks and bowed ceiling tiles	6 - Replace		
D - Services				
D50 - Electrical				
D5020 - Lighting				
1x4 surface mounted fixtures		4 - Poor		
WIT - 304 - Track				5 - Unsatisfactory
Description	Condition Comments	Rating		
C - Interiors				
C10 - Interior Construction				
C1030 - Interior Doors				
Wood double doors	Non-ADA hardware, doors do not latch properly, finish is worn and doors should be replaced	5 - Unsatisfactory		
C1080 - Exterior openings				
Concrete window sills	Sills are cracked in many locations, and paint is peeling, sealant at the windows is missing	5 - Unsatisfactory		
C20 - Interior Finishes				
C2010 - Wall Finishes				
Plaster walls	Cracking and peeling is extensive throughout the space	5 - Unsatisfactory		
C2030 - Flooring				
Plywood flooring with wood shoe moulding	Wood is peeling and worn out in many locations around the track	5 - Unsatisfactory		
C2050 - Ceiling Finishes				
Plaster or paint on concrete roof/ceiling	Much peeling and staining from water leakage, some apparent patches	5 - Unsatisfactory		
D - Services				
D20 - Plumbing				
D2010.60 - Plumbing Fixtures				
Plumbing piping	Piping is exposed throughout the space	4 - Poor		
D2060 - Process Support Plumbing Systems				
Fittings on Fiberglass pipe insulation	This is assumed ACM, areas are peeling off and missing	5 - Unsatisfactory		
D50 - Electrical				

D5010 - Electrical Service and Distribution				
Electrical conduit	All conduit is exposed and surface mounted	3 - Fair		
D5020 - Lighting				
High bay fixtures	Fixtures function but are not energy efficient	4 - Poor		
E - Equipment & Furnishings				
E10 - Equipment				
E1090 - Other Equipment				
Wood handrail/guardrail	Painted, in relatively good shape, does not meet code requirements of allowed opening sizes	5 - Unsatisfactory		
WIT - 305 - Office				5 - Unsatisfactory
Description	Condition Comments	Rating		
- Interiors				
C20 - Interior Finishes				
C2060 - Architectural Woodwork				
wood floor base 8" (approximate), wood chair rail, and painted wood ceiling cove		4 - Poor		
C - Exteriors				
C10 - Exterior Construction				
C1080 - Exterior openings				
Exterior window glazing		3 - Fair		
C20 - Interior Finishes				
C2010 - Wall Finishes				
Plaster walls	some cracking, lots of surface mounted conduit	4 - Poor		
C2030 - Flooring				
Carpet	shredded and badly worn	6 - Replace		
C2050 - Ceiling Finishes				
2x4 ACT	holes in tiles, sagging	5 - Unsatisfactory		
D - Services				
D50 - Electrical				
D5020 - Lighting				
1x4 surface mounted fluorescent		3 - Fair		
WIT - 306 - Office				5 - Unsatisfactory
Description	Condition Comments	Rating		

INTERIOR CONDITIONS

EXPANDED FACILITIES ASSESSMENT MATRICES - THIRD FLOOR

C - Interiors		
C10 - Interior Construction		
C1030 - Interior Doors		
wood door with half lite and textured glazing		4 - Poor
C1080 - Exterior openings		
Exterior Window Glazing	ACM, glazing is cracked	5 - Unsatisfactory
C20 - Interior Finishes		
C2010 - Wall Finishes		
Plaster walls		4 - Poor
C2030 - Flooring		
Carpet with vinyl wall base	Mastic is non-ACM, carpet is stained and rusty	5 - Unsatisfactory
C2050 - Ceiling Finishes		
2x4 ACT		4 - Poor
D - Services		
D50 - Electrical		
D5020 - Lighting		
2x4 surface mounted flourescent fixtures		3 - Fair
E - Equipment & Furnishings		
E10 - Equipment		
E1090 - Other Equipment		
ceiling fan, wood credenza		4 - Poor
WIT - 307 - Storage		
		4 - Poor
Description	Condition Comments	Rating
C - Exteriors		
C10 - Exterior Construction		
C1080 - Exterior openings		
Exterior window glazing		4 - Poor
C20 - Interior Finishes		
C2010 - Wall Finishes		
Plaster walls		5 - Unsatisfactory
C2030 - Flooring		
concrete with concrete base		4 - Poor
E - Equipment & Furnishings		
E10 - Equipment		

E1090 - Other Equipment		
Electrical insulation	assumed ACM	4 - Poor
WIT - 312 - Roof Access		
		5 - Unsatisfactory
Description	Condition Comments	Rating
C - Exteriors		
C10 - Exterior Construction		
C1080 - Exterior openings		
Roof hatch	Stair to the roof does not meet OSHA requirements	6 - Replace
C20 - Interior Finishes		
C2010 - Wall Finishes		
Plaster walls		5 - Unsatisfactory
C2030 - Flooring		
concrete with concrete wall base		4 - Poor
E - Equipment & Furnishings		
E10 - Equipment		
E1090 - Other Equipment		
steel ladder up to roof	Stair to the roof does not meet OSHA requirements	5 - Unsatisfactory
WIT - C308 - Corridor		
		4 - Poor
Description	Condition Comments	Rating
C - Exteriors		
C10 - Exterior Construction		
C1080 - Exterior openings		
Exterior window glazing		3 - Fair
C20 - Interior Finishes		
C2010 - Wall Finishes		
Plaster walls		4 - Poor
C2030 - Flooring		
Concrete with painted terrazzo finish and concrete base		4 - Poor
D - Services		
D20 - Plumbing		

D2060 - Process Support Plumbing Systems		
Fiberglass pipe insulation	assumed ACM	5 - Unsatisfactory
WIT - C309 - Corridor		
		4 - Poor
Description	Condition Comments	Rating
C - Exteriors		
C10 - Exterior Construction		
C1080 - Exterior openings		
Exterior Window Glazing		3 - Fair
C20 - Interior Finishes		
C2010 - Wall Finishes		
Plaster walls		3 - Fair
WIT - C310 - Corridor		
		4 - Poor
Description	Condition Comments	Rating
C - Exteriors		
C10 - Exterior Construction		
C1080 - Exterior openings		
Exterior window glazing		4 - Poor
C20 - Interior Finishes		
C2010 - Wall Finishes		
Plaster walls		4 - Poor
C2030 - Flooring		
Concrete flooring and concrete base	painted terrazo floor is chipped, cracked and worn	4 - Poor
WIT - C311 - Corridor		
		4 - Poor
Description	Condition Comments	Rating
C - Exteriors		
C10 - Exterior Construction		
C1080 - Exterior openings		
Exterior window glazing		3 - Fair
C20 - Interior Finishes		

INTERIOR CONDITIONS

EXPANDED FACILITIES ASSESSMENT MATRICES - THIRD FLOOR

C2010 - Wall Finishes

Plaster walls

4 - Poor

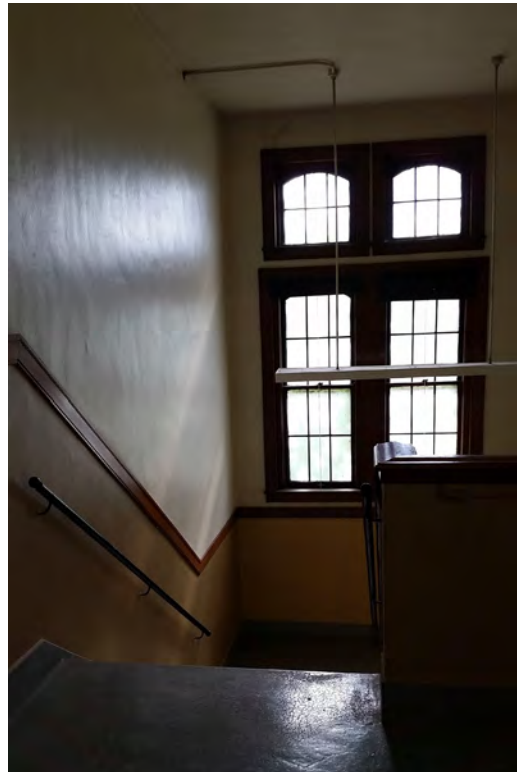
C2030 - Flooring

Painted terrazo floor worn and cracked

4 - Poor

INTERIOR CONDITIONS

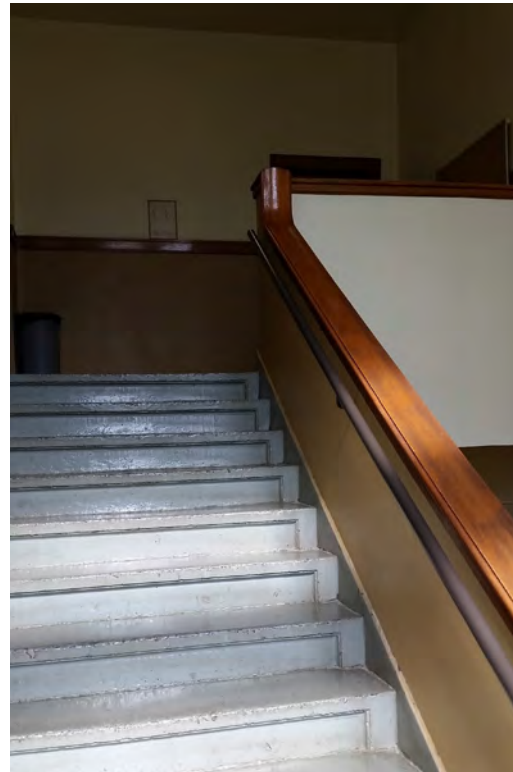
GENERAL BUILDING CIRCULATION - SECOND FLOOR PHOTOS



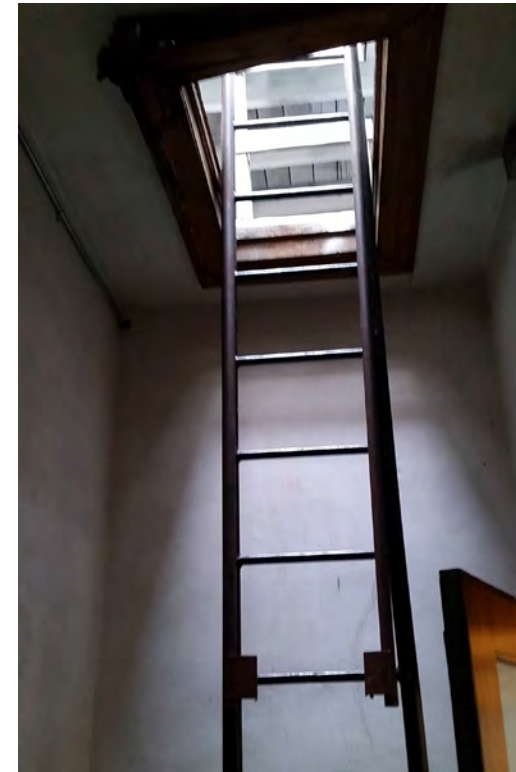
CORRIDOR-C309



CORRIDOR-C311



STAIR-S314



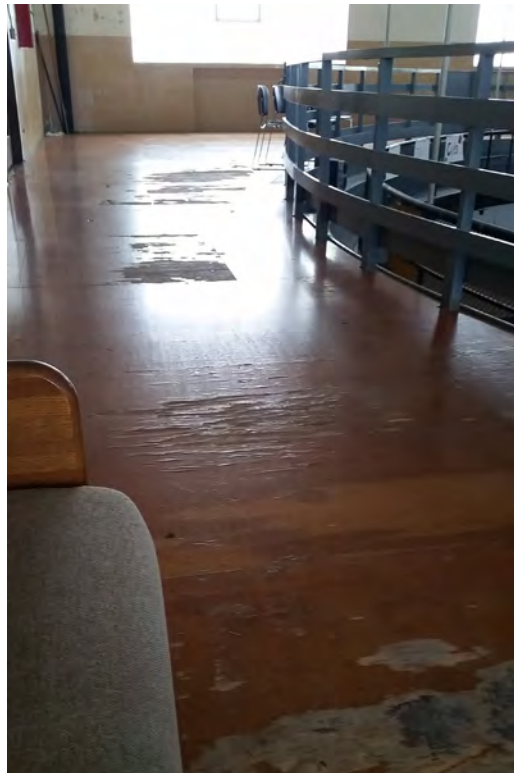
ROOF ACCESS-312



SILL-304

INTERIOR CONDITIONS

OFFICE AND SPECIAL USE (TRACK) - THIRD FLOOR PHOTOS



TRACK-304-01



TRACK-304-02



TRACK-304-03



OFFICE-302



OFFICE-303

INTERIOR CONDITIONS

FLOOR ELEVATION MAPS

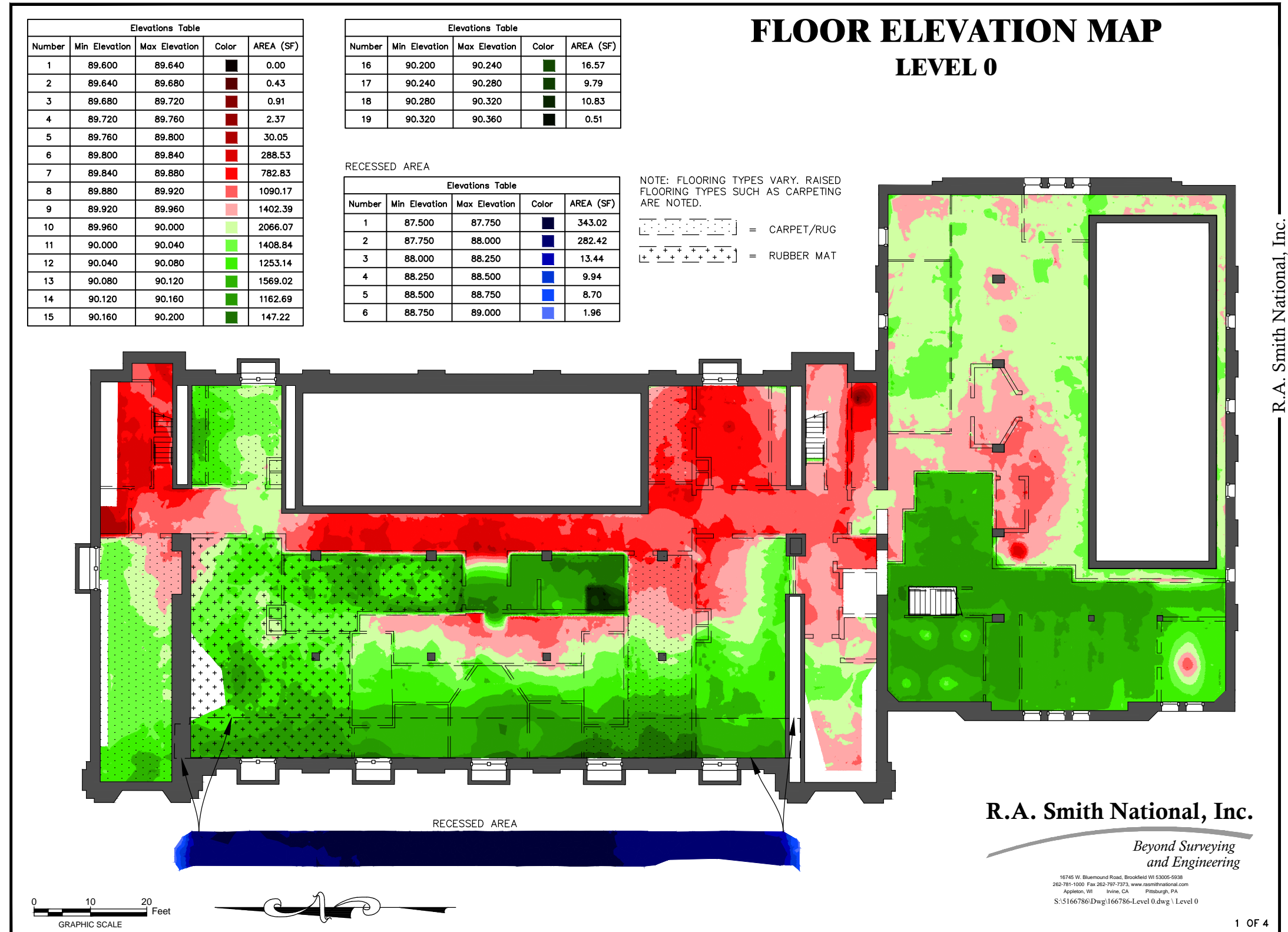
OVERVIEW

As part of the facility condition assessment performed by the design team, the entire building was scanned using laser scanning technology. As part of the laser scanning, the building floors were specifically scanned and mapped to assist in determining the overall flatness of each existing floor level. Knowing the flatness of the existing flooring conditions will assist the team in determining the extent of remediation that will be necessary as part of the new construction. The floor maps that were produced are depicted in this section. Summaries of each floor are indicated below.

LEVEL SUMMARY

LOWER LEVEL

Laser scanning revealed level changes of 4" in a span of 40 feet in some locations. Some of this floor variation is due to existing floor finishes, there is rubber flooring in many of the current storage rooms. There is also an area that ramps up into one of the mechanical rooms which is where most of this level change happens. Many portions of this slab will need to be removed for under slab piping replacement, so much of the floor may be replaced. Depending on the final floor finishes selected, leveling will need to be done to bring the building up to current construction standards.



R.A. Smith National, Inc.

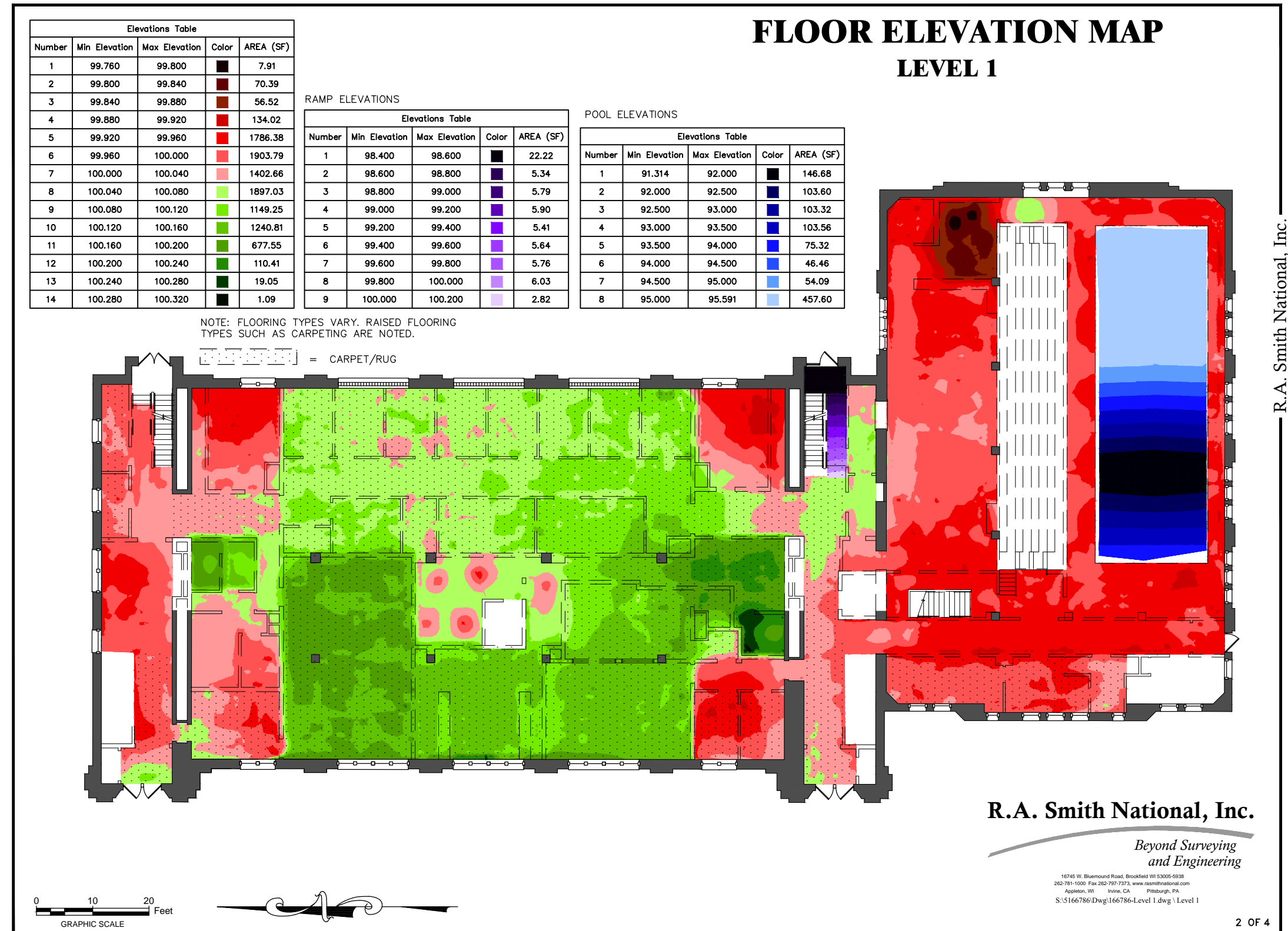
INTERIOR CONDITIONS

FLOOR ELEVATION MAPS

LEVEL SUMMARY

FIRST FLOOR

First floor level changes are less severe than the lower level. 1 1/2" changes in floor level are indicated in the bathrooms and shower areas due to floors sloping to the drains. These will need to be leveled as part of the new construction. There is an existing ramp at one of the main entrance doors that is depicted with purple coloring on this plan. Also the pool area is depicted in shades of blue and will be removed as part of the new construction. Other areas of unlevelled flooring could be due to existing floor tile and carpeting. This floor will need to be leveled as part of the new construction.



R.A. Smith National, Inc.

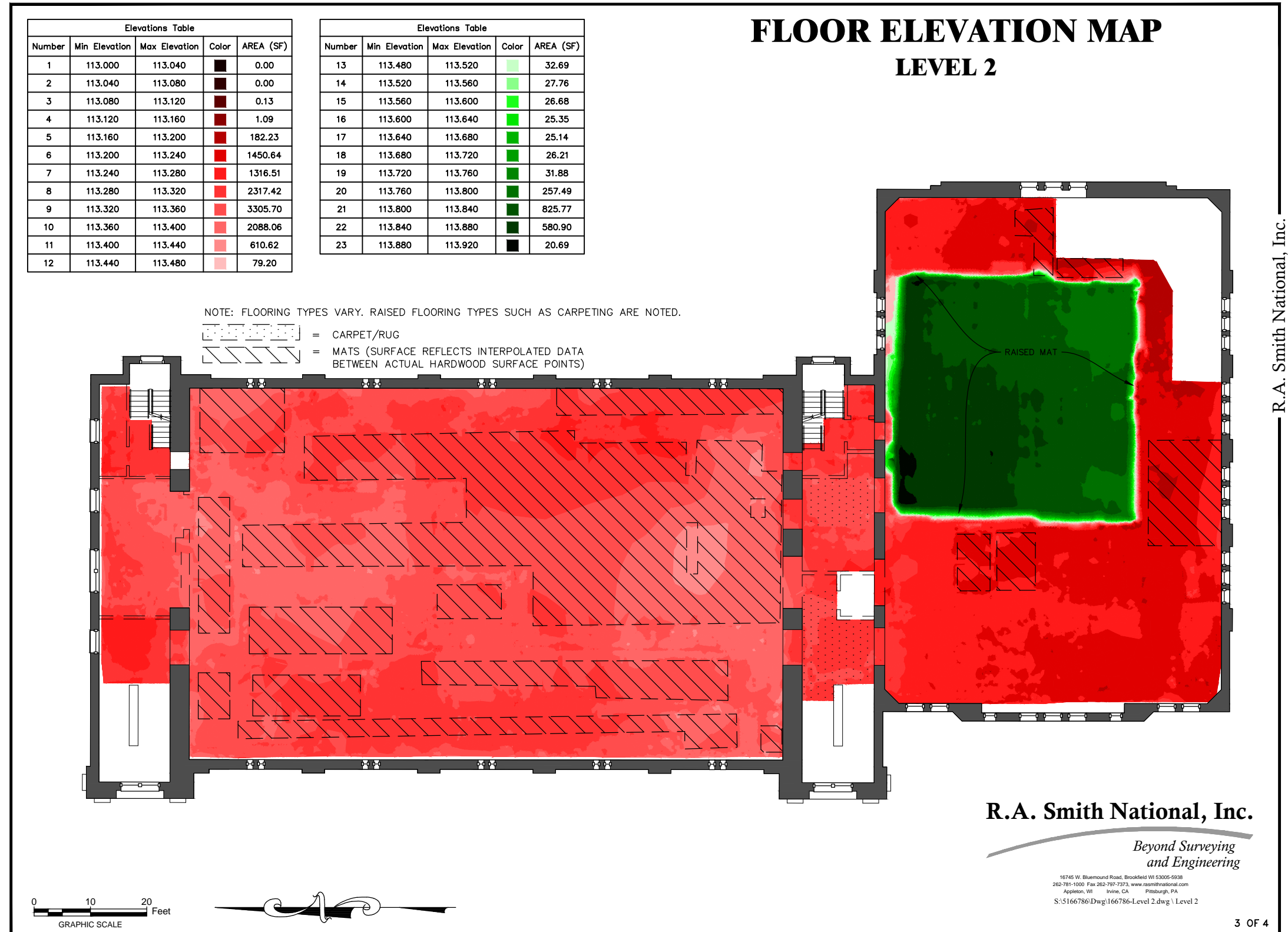
INTERIOR CONDITIONS

FLOOR ELEVATION MAPS

LEVEL SUMMARY

SECOND FLOOR

Second floor contains the gyms for the building and has level changes of up to 1 1/2" across the length of the gym. This is not a large concern for the new construction as the level changes indicated are very gradual. The dark green area in the south addition is due to the existing gymnastics mat. Much of this plan has been interpolated based on the exposed wood flooring due to the fact that there were existing gymnastics mats present on the floors during scanning.



R.A. Smith National, Inc.

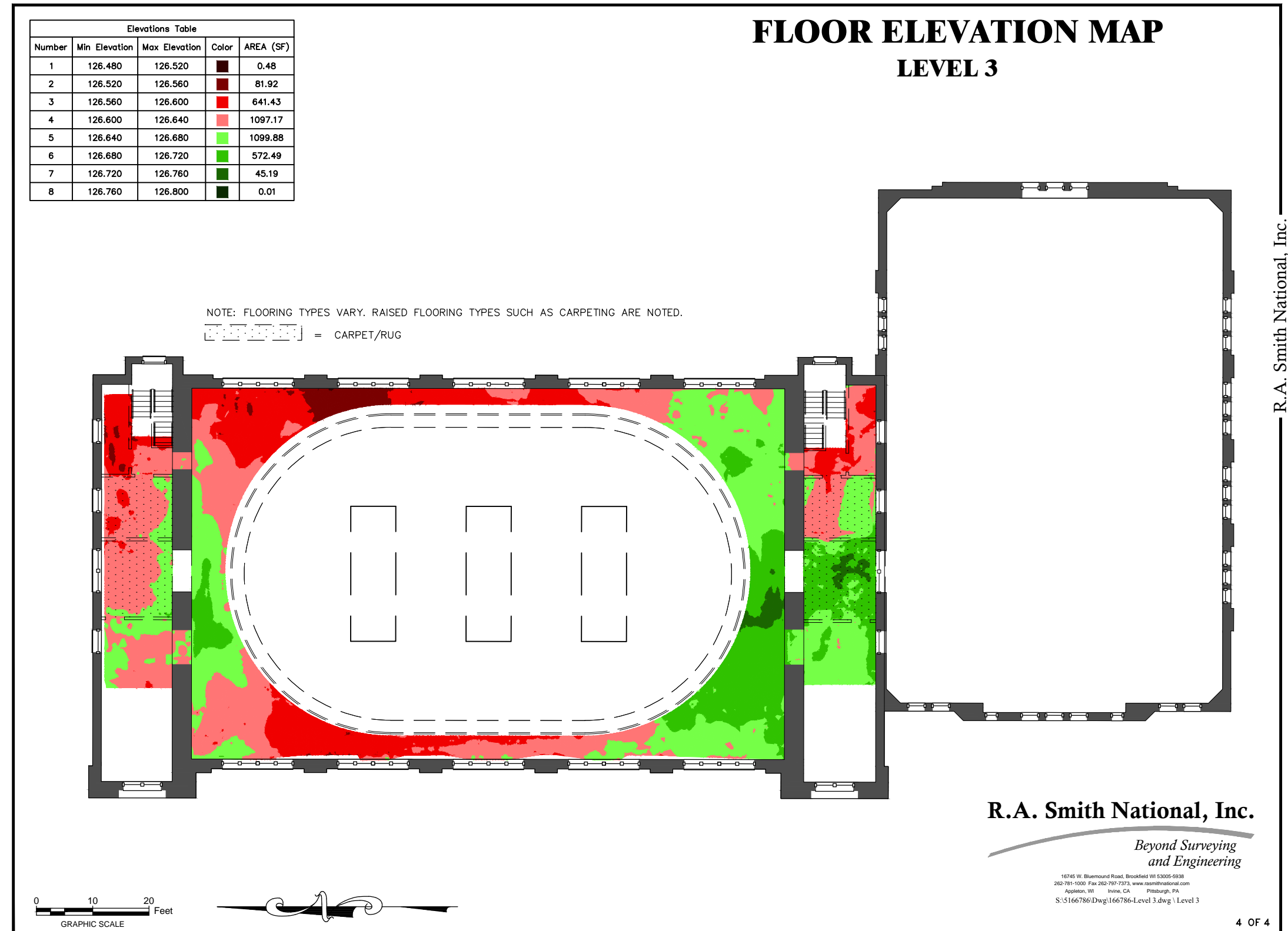
INTERIOR CONDITIONS

FLOOR ELEVATION MAPS

LEVEL SUMMARY

THIRD FLOOR

Third Floor contains the running track and some ancillary storage spaces. The floor on this level changes almost 3" across the length of the building. The condition of the plywood flooring in the track is peeling up at the corners, in some areas, and the level changes could be due to that condition. In the storage areas, the existing carpet is shredded in many cases and laying on top of the floor. This could also be revealing more unlevelled flooring than actually exists. This floor is not a large concern as the running track will be removed as part of the new construction and replaced with a new flooring system.



R.A. Smith National, Inc.

Page Intentionally Left Blank

SECTION C – STRUCTURE / SHELL

Page Intentionally Left Blank

STRUCTURE / SHELL

OVERVIEW

ASSESSMENT DESCRIPTION

The facilities assessment matrices describe the various conditions of the structural building system and exterior building shell. Foundations, super structure, exterior vertical enclosures, exterior veneers, and roofing for example, are described and given a rating. Select photographic images have been provided for specific areas and conditions. Ratings are assigned primarily based on empirical evaluation of physical condition. Refer to the rating system chart for more information.

STRUCTURE / SHELL SUMMARY OVERVIEW

Wittich Hall was originally built in 1916 as the Physical Education Building. In 1930, an addition was made to the original building. This addition housed the swimming pool and gymnasium.

The 1916 portion measures approximately 140 feet by 69 feet and the 1930 addition measures approximately 63 feet by 93 feet. Wittich Hall is approximately 55,500 gsf and its current function remains a facility used for athletics and physical education with a primary focus on gymnastics.

Wittich Hall was the second building constructed on campus. It remains one of three originally constructed facilities along with Graff Main Hall to the south and Morris Hall to the southwest. Designed in a Collegiate Gothic architectural style, by the La Crosse architectural firm of Parkinson & Dockendorff, Wittich Hall holds a unique place within the architectural framework of the UW-La Crosse campus.

In 1985, Wittich Hall was listed on the National Register of Historic Places, and in 1989 received state registration.

As part of this project a Historic Structures Report and Preservation Plan were prepared to further detail the historical significance and propose an appropriate preservation plan for the building. Additional information on the conditions of the enclosure and structure can be found in these volumes.

STRUCTURE – EXISTING CONSTRUCTION

From the existing plans, the ground floor slab on grade appears to be 3" at the original building and 4" in the addition with a 1" cement finish. Reinforcement was not specified in either set of plans.

In the original building, the first floor framing consisted of a concrete pan joist with a clay tile form and 2" concrete slab with an approximate 3" cinder concrete topping. The depth of the clay tile varies from 4" to 6". The concrete joists are supported on bearing walls and concrete beams and columns. The second floor framing consisted of a concrete pan joist with a clay tile form and 2" concrete slab with an approximate 3" cinder concrete topping. The depth of the clay tile varies from 6" to 10". The concrete joists are supported on bearing walls and concrete beams and columns. The third floor framing consisted mostly of 5" solid concrete slab and concrete beams for the upper part of the gymnasium including the running track and seating area. There are no interior supports for this framing and all the load is transferred to the exterior load bearing walls. The center of this floor is open to the main gymnasium floor below. The floor at each end of the gymnasium is of a concrete pan joist with a 6" clay tile form and 2" concrete slab with an approximate 3" cinder concrete topping. The concrete joists are supported on bearing walls and concrete beams and columns. The roof over the gymnasium is framed with steel trusses and a concrete pan joist system with 7" clay tile and a 2 1/2" concrete slab. The roof on either side of the gymnasium is a concrete pan joist with 4" tile and a 2" concrete slab.

In the addition, the first floor framing consisted of a concrete pan joist with a clay tile form and 2" concrete slab. The depth of the clay tile varies from 3" to 8". The concrete joists are supported on bearing walls and concrete beams and columns. The pool is a cast concrete structure with a 16" thick walls and an 8" concrete slab on grade. There is also a cast-in-place concrete seating area supported by concrete beams and columns. The second floor framing consisted of a concrete pan joist with a clay tile form and 2" concrete slab. The depth of the clay tile varies from 6" to 8". The concrete joists are supported on bearing walls and concrete beams and columns. The beams over the pool area are steel beams enclosed in 1 1/2" of concrete and nested with 1/4" diameter bars. The beam sizes are approximately 24" deep and weigh 141 pounds per foot. The roof over the gymnasium is framed with steel trusses and steel channels and decking.

STRUCTURE – CONDITIONS

Like many buildings with the structure being a static element it is generally the least concern of the building. Most of the structural elements were given a "Good" or "Satisfactory" rating. Until a comprehensive remodel is pursued, little will need to be maintained or modified in the existing structural system.

There was no sign of lateral force distress such as cracks in the interior plaster for either building, except in the gymnasium of the 1930 addition. In addition to the cracks, there were some signs of water damage at the roof but did not seem to be causing any structural concerns. While there were some cracks on all the terrazzo floors, they are minor cracks which had no structural impact. These cracks are expected for a building of this age.

SHELL – EXISTING CONSTRUCTION

The shell is primarily composed of load bearing brick masonry with cut limestone detailing.

The glazing systems are comprised of original windows and infill conditions depending on the location and level. The original window units are constructed of wood sashes and single pane glass. Infill conditions generally include glass block at the upper windows in the 1916 gymnasium and the 1916 pool (East / West Elevation), aluminum windows at the 1930 pool windows (South Elevation), and relatively new aluminum storefront entrance systems at all of the entrances.

The roof has been altered and repaired several times. The most recent roofing project, conducted in 1985, applied a Hypalon coating over the entire roof, including the original 1916 skylight infills. This coating was also placed over flashings.

The roof structure of Wittich Hall is comprised of steel trusses, wood and concrete decking, insulation board, roofing membrane, and a Hypalon roof coating applied in 1985. Campus documents indicate the roofing system was replaced in 1974 and 1985. Skylights over the 1916 gymnasium were infilled in 1970 while the skylights over the 1930 gymnasium were replaced in 1985.

Parapets are constructed of multi-wythe brick masonry with a limestone coping. The roofing membrane is terminated at the parapet walls with metal flashing cut into a reglet joint in the brick masonry.

SHELL – CONDITIONS

The exterior façade is generally in good shape. Both the brick and cut stone are generally in very good condition. The mortar associated with the brick and the cut stone is also in very good condition. There appeared to be no problems caused by excessive or differential settlement. No distress on the exterior walls was detected. However, at the parapet condition deterioration of limestone coping joints and flashings was evident.

The original wood window glazing systems are in "poor" condition and need to be replaced. Window sills commonly show signs of warping near the bottom of the wood jambs and it is common to see wood that has sustained damage of some kind. The glass block and aluminum window infill conditions are generally in "fair" to "satisfactory" condition and these are not historical in nature. The aluminum entrance systems are relatively new and are in "good" to "satisfactory" condition but are also not historical in nature.

Overall, the roofing membrane and flashing appear to be "poor" condition and should be replaced. The skylights added in 1985 are in "fair" condition.

STRUCTURE / SHELL

RATING SYSTEM

As each category of the facility was analyzed, each component was graded using the format provided by UW System. The item was given a number based on its condition and functionality from one to seven.

- Items graded one or two are in generally good condition and can remain in use with some or no maintenance or renovation. They are color-coded light green (see chart)
- Items graded three or four are in the fair or poor condition and can only remain in prolonged use or occupation with moderate to significant renovation. They are color-coded yellow.
- Items graded five, six, or seven have reached the end of their useful life. Remediation of items in this condition requires major renovation or repair to complete removal or replacement. They are color-coded red.

Code	Rating	Action Required	Rating Description
1	Good	Minimal Renovation	Suitable for continued use with normal maintenance. The approximate renovation cost is less than five percent of the space / system replacement value.
2	Satisfactory	Limited Renovation	Requires restoration to present acceptable conditions. The approximate cost of restoration is 5-15 percent of the space / system replacement value.
3	Fair	Moderate Renovation	Requires updating or restoration. The approximate restoration cost is 15-30 percent of the space / system replacement value. The physical conditions may have an affect upon building operations.
4	Poor	Significant Renovation	Requires significant updating or restoration. The approximate restoration cost is 30-45 percent of the space / system replacement value. The physical conditions adversely affect building operations.
5	Unsatisfactory	Major Renovation	Requires major restoration with possible need to overhaul building subsystems. The approximate restoration cost is 45-60 percent of the space / system replacement value. Consideration of actual restoration requirements may lead to classifying the facility as being in need of replacement.
6	Replace/ Demolition	Demolition or Abandonment	Should be demolished or abandoned because the building is unsafe and/or structurally unsound, irrespective of the need for the space or the availability of funds for replacement. Additionally, this category takes precedence over categories 1-5. If a building is scheduled for demolition, its condition is reported in this category, regardless of condition.
7	Termination	Termination or Relinquishment	Planned termination or relinquishment of occupancy of the building for reasons other than unsafeness or structural unsoundness, such as abandonment of temporary units or vacating of leased space. Additionally, this category takes precedence over categories 1-6. If a building is scheduled for termination, its condition is reported in this category, regardless of its condition.

FACILITIES ASSESSMENT MATRICES - STRUCTURE

STRUCTURAL ASSESSMENT							
Wittich Hall - Renovation							
CODE	ITEM	DESCRIPTION	CONSTRUCTION	CONDITION	AREA	PHOTOS	RATING
A	SUBSTRUCTURE						
A10	Foundations						
A1010	Standard Foundations						
	Original 1916 Building	Spread Footings	Reinforced Cast-in-place concrete (CIP); Unknown Bearing Capacity	Not visible			NA
	1930 Addition	Spread Footings	Reinforced Cast-in-place concrete (CIP); Unknown Bearing Capacity	Not visible			NA
A1030	Slab on Grade						
	Original 1916 Building	Sub-basement Floor	CIP concrete - Thickness and Reinforcing Unknown	Good Condition			2
	1930 Addition	Basement Floor	Cast-in-place concrete - 5" Concrete Slab with 6"x6" #10/10 WWF steel reinforcement	Good Condition			2
A20	Basement Construction						
A2020	Basement Walls						
	Original Building - 1916	Basement Walls	CIP concrete with varying thickness. Reinforcing Unknown.	Good Condition			1
	Building Addition - 1930	Basement Walls	CIP concrete with varying thickness. Reinforcing Unknown.	Good Condition			2
B	SHELL						
B10	SUPERSTRUCTURE						
B1010	Floor Construction						
	Original Building - 1916	1st Floor	CIP Reinforced concrete pan joist with a clay tile form and 2" concrete slab. The depth of the clay tile varies from 4" to 6". The concrete joists are supported on bearing walls and concrete beams and columns.	Good Condition			2

STRUCTURE / SHELL

FACILITIES ASSESSMENT MATRICES - STRUCTURE

STRUCTURAL ASSESSMENT							
Wittich Hall - Renovation							
CODE	ITEM	DESCRIPTION	CONSTRUCTION	CONDITION	AREA	PHOTOS	RATING
	Building Addition - 1930	1st Floor	CIP Reinforced concrete pan joist with a clay tile form and 2" concrete slab. The depth of the clay tile varies from 3" to 8". The concrete joists are supported on bearing walls and concrete beams and columns. The pool is a cast concrete structure with 6" thick walls and an 8" concrete slab on grade. There is also a cast-in-place concrete seating area supported by concrete beams and columns.	Good Condition			2
	Original Building - 1916	2nd Floor	CIP Reinforced concrete pan joist with a clay tile form and 2" concrete slab. The depth of the clay tile varies from 6" to 10". The concrete joists are supported on bearing walls and concrete beams and columns.	Good Condition			2
	Building Addition - 1930	2nd Floor	Reinforced concrete pan joist with a clay tile form and 2" concrete slab. The depth of the clay tile varies from 6" to 8". The concrete joists are supported on bearing walls and concrete beams and columns. The beams over the pool area are steel beams enclosed in 1 1/2" of concrete and nested with 1/4" diameter bars. The beam sizes are approximately 24" deep and weigh 141 pounds per foot.	Good Condition			2

STRUCTURAL ASSESSMENT							
Wittich Hall - Renovation							
CODE	ITEM	DESCRIPTION	CONSTRUCTION	CONDITION	AREA	PHOTOS	RATING
	Original Building - 1916	3rd Floor	While the original drawings indicate a banked concrete track was to be installed, the as-built conditions are a wood and steel framed running track. There are interior rods supporting the track from the roof trusses above. The remainder of the loading is transferred to the exterior bearing walls. The center of this floor is open to the main gymnasium floor below. The floor at each end of the gymnasium is a reinforced concrete pan joist with a 6" clay tile form and 2" concrete slab. The concrete joists are supported on the exterior bearing wall in interior shaft walls.	Good Condition			2
B1020	Roof Construction						
	Original Building - 1916	Roof	The roof over the gymnasium is framed with steel trusses and a concrete pan joist system with 7" clay tile and a 2 1/2" concrete slab. The roof on either side of the gymnasium is a concrete pan joist with 4" tile and a 2" concrete slab.	Good Condition			1
	Building Addition - 1930	Roof	The roof over the gymnasium is framed with steel trusses and steel channels and decking.	Good Condition			2
B1080	Stairs						
	Original Building	Stairs 1, 2, 3 and 4 in original 1916 building	CIP reinforced concrete stairs with landing slabs.	Structure Generally in Good Condition.			2

STRUCTURE / SHELL

EXTERIOR CONDITION ELEVATIONS



NORTH ELEVATION

MATERIAL SUMMARY: NORTH ELEVATION:

Empirical Evaluation Rating:

2 - SATISFACTORY

Wall type 1 - 1'-8" wide load bearing brick wall with limestone detailing

3 - FAIR

Wall type 2 - 1'-8" wide brick parapet with limestone detailing and coping.

6 - REPLACE / DEMOLITION

Wall type 3 - Wood windows with single pane glass

STRUCTURE / SHELL

EXTERIOR CONDITION ELEVATIONS



EAST ELEVATION

MATERIAL SUMMARY: EAST ELEVATION:

Empirical Evaluation Rating:

1 - EXCELLENT

Wall type 5 - Aluminum storefront entrance system

2 - SATISFACTORY

Wall type 1 - 1'-8" wide load bearing brick wall with limestone detailing

3 - FAIR

Wall type 2 - 1'-8" wide brick parapet with limestone detailing and coping.

Wall type 4 - Glass block windows

6 - REPLACE / DEMOLITION

Wall type 3 - Wood windows with single pane glass

STRUCTURE / SHELL

EXTERIOR CONDITION ELEVATIONS



SOUTH ELEVATION

MATERIAL SUMMARY: NORTH ELEVATION:

Empirical Evaluation Rating:

1 - EXCELLENT

Wall type 5 - Aluminum storefront entrance system

2 - SATISFACTORY

Wall type 1 - 1'-8" wide load bearing brick wall with limestone detailing

3 - FAIR

Wall type 2 - 1'-8" wide brick parapet with limestone detailing and coping.

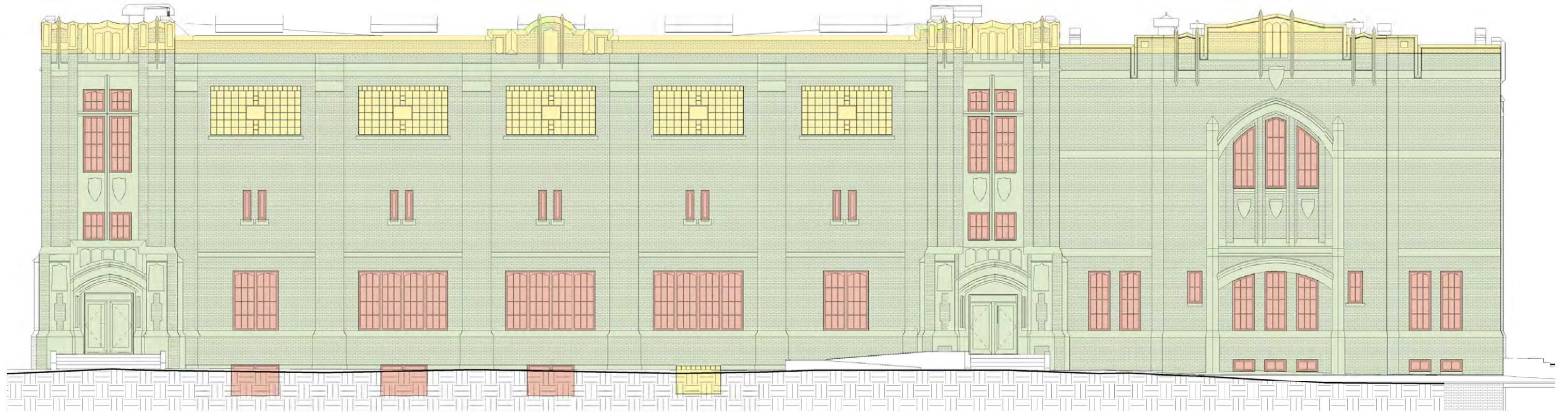
Wall type 6 - Aluminum window units

6 - REPLACE / DEMOLITION

Wall type 3 - Wood windows with single pane glass

STRUCTURE / SHELL

EXTERIOR CONDITION ELEVATIONS



WEST ELEVATION

MATERIAL SUMMARY: EAST ELEVATION:

Empirical Evaluation Rating:

3 - FAIR

1 - EXCELLENT

Wall type 2 - 1'-8" wide brick parapet with limestone detailing and coping.

Wall type 5 - Alum storefront entrance system

Wall type 4 - Glass block windows

2 - SATISFACTORY

6 - REPLACE / DEMOLITION

Wall type 1 - 1'-8" wide load bearing brick wall with limestone detailing

Wall type 3 - Wood windows with single pane glass

STRUCTURE / SHELL

FACILITIES ASSESSMENT MATRICES - STRUCTURE PHOTOS

EXTERIOR ASSESSMENT								
Wittich Hall - Renovation								
CODE	ITEM	DESCRIPTION	CONSTRUCTION	CONDITION	REMARKS	AREA	PHOTOS	RATING
B	SHELL							
B20	Exterior Vertical Enclosures							
B2010	Exterior Enclosure Wall Enclosures							
North	Notes: Total Area: 4,716 sf (not including parapet) Average R-Value = 1.82 2009 IEC code standard average R-value=10.77; Both averages include glazing R-values and areas in calculation.	Wall Type 1	1'-8" wide load bearing brick wall with limestone detailing	Brick is in generally good condition. Joints should be tuckpointed. Many joints in the limestone are filled with sealant and are in need of replacement	Approx. R-1.98	4,057 SF / 86.03%	EXT-N-01, EXT-N-02, EXT-N-03, EXT-N-04	2
		Wall Type 2	1'-8" wide brick parapet with limestone detailing and coping.	The masonry parapets are stable but are in need of work. Limestone copings are in good condition but the joints are in need of repair or replacement.	NA	272 SF / NA	EXT-N-01, EXT-N-02,	3
Also Refer to B2020 Exterior Windows								
East	Notes: Total Area: 8,957 sf (not including parapet) Average R-Value = 1.92 2009 IEC code standard average R-value=10.77; Both averages include glazing R-values and areas in calculation.	Wall Type 1	1'-8" wide load bearing brick wall with limestone detailing	Brick is in generally good condition. Joints should be tuckpointed. Many joints in the limestone are filled with sealant and are in need of replacement	Approx. R-1.98	7,762 SF / 86.66%	EXT-E-01, EXT-E-02, EXT-E-03, EXT-E-04, EXT-E-05, EXT-E-06	2
		Wall Type 2	1'-8" wide brick parapet with limestone detailing and coping.	The masonry parapets are stable but are in need of work. Limestone copings are in good condition but the joints are in need of repair or replacement.	NA	587 SF / NA	EXT-E-01, EXT-E-05	3
Also Refer to B2020 Exterior Windows								

EXTERIOR ASSESSMENT								
Wittich Hall - Renovation								
CODE	ITEM	DESCRIPTION	CONSTRUCTION	CONDITION	REMARKS	AREA	PHOTOS	RATING
South	Notes: Total Area: 4,807 sf (not including parapet) Average R-Value = 1.84 2009 IEC code standard average R-value=10.77; Both averages include glazing R-values and areas in calculation.	Wall Type 1	1'-8" wide load bearing brick wall with limestone detailing	Brick is in generally good condition. Joints should be tuckpointed. Many joints in the limestone are filled with sealant and are in need of replacement	Approx. R-1.98	4,213 SF / 87.64%	EXT-S-01, EXT-S-02, EXT-S-03, EXT-S-04, EXT-S-05, EXT-S-06	2
		Wall Type 2	1'-8" wide brick parapet with limestone detailing and coping.	The masonry parapets are stable but are in need of work. Limestone copings are in good condition but the joints are in need of repair or replacement.	NA	170 SF / NA	EXT-S-01, EXT-S-03,	3
Refer to B2020 Exterior Windows								
West	Notes: Total Area: 8,945 sf (not including parapet) Average R-Value = 1.85 2009 IEC code standard average R-value=10.77; Both averages include glazing R-values and areas in calculation.	Wall Type 1	1'-8" wide load bearing brick wall with limestone detailing	Brick is in generally good condition. Joints should be tuckpointed. Many joints in the limestone are filled with sealant and are in need of replacement	Approx. R-1.98	7,381 SF / 87.64%	EXT-W-01, EXT-W-02, EXT-W-03, EXT-W-04, EXT-W-05, EXT-W-06, EXT-W-07	2
		Wall Type 2	1'-8" wide brick parapet with limestone detailing and coping.	The masonry parapets are stable but are in need of work. Limestone copings are in good condition but the joints are in need of repair or replacement.	NA	625 SF / NA	EXT-W-01, EXT-W-07	3

STRUCTURE / SHELL

FACILITIES ASSESSMENT MATRICES - EXTERIOR CONDITIONS

EXTERIOR ASSESSMENT								
Wittich Hall - Renovation								
CODE	ITEM	DESCRIPTION	CONSTRUCTION	CONDITION	REMARKS	AREA	PHOTOS	RATING
		Refer to B2020 Exterior Windows						
B2020	Exterior Windows (Including Storefronts & Doors)							
North		Wall Type 3	Wood windows with single pane glass	Wood windows are in poor condition. Jambes and sills especially at lower portion of units are decayed and in need of replacement.	Approx. R - .82	659 SF / 13.97%	EXT-N-01	6
East		Wall Type 3	Wood windows with single pane glass	Wood windows are in poor condition. Jambes and sills especially at lower portion of units are decayed and in need of replacement	Approx. R - .82	441 SF / 4.92%	EXT-E-01	6
		Wall Type 4	Glass block windows	Glass block is in fair condition. Glass block is not original. Interior plaster around windows show some deterioration	Approx. R - 1.96	651 SF / 7.27%	EXT-E-03, EXT-E-06	3
		Wall Type 5	Alum storefront entrance system	Relatively new and in excellent condition. Not historically accurate.	Approx. R - 1.76	103 SF / 1.15%	EXT-E-02, EXT-E-04	1
South		Wall Type 3	Wood windows with single pane glass	Wood windows are in poor condition. Jambes and sills especially at lower portion of units are decayed and in need of replacement	Approx. R - .82	328 SF / 6.82%	EXT-S-01, EXT-S-03, EXT-S-05, EXT-S-06	6
		Wall Type 5	Alum storefront entrance system	Relatively new and in excellent condition. Not historically accurate.	Approx. R - 1.76	38 SF / .79%	EXT-S-03	1
		Wall Type 6	Alum Window Units	Alum window units with insulated glass. Not historic	Approx. R - 2.00	228 SF / 4.74%	EXT-S-04	3

EXTERIOR ASSESSMENT								
Wittich Hall - Renovation								
CODE	ITEM	DESCRIPTION	CONSTRUCTION	CONDITION	REMARKS	AREA	PHOTOS	RATING
West		Wall Type 3	Wood windows with single pane glass	Wood windows are in poor condition. Jambes and sills especially at lower portion of units are decayed and in need of replacement	Approx. R - .82	1,005 SF / 11.24%	EXT-W-01, EXT-W-03, EXT-W-07	6
		Wall Type 4	Glass block windows	Glass block is in fair condition. Glass block is not original. Interior plaster around windows show some deterioration	Approx. R - 1.96	446 SF / 4.99%		3
		Wall Type 5	Alum Storefront Entrance System	Relatively new and in excellent condition. Not historically accurate.	Approx. R - 1.76	113 SF / 1.26%	EXT-W-04	1
B30	Roof							
B3010	Roofing							
	1916 - Roof		concrete substrate, insulation board, membrane roofing	Redone in 1985, Should be replaced. Skylights over the 1916 gymnasium were infilled in 1970. The metal flashings have been sprayed with a Hypalon coating and are in need of repair.			EXT-R-01, EXT-R-04	5
	1930 - Roof		concrete substrate, insulation board, membrane roofing	Redone in 1985, Should be replaced. Original skylights were infilled in 1970. The metal flashings have been sprayed with a Hypalon coating and are in need of repair.			EXT-R-02, EXT-R-03	5
	1930 - Skylights		alum framed skylights	Skylights were replaced in 1985.			EXT-R-03	3

STRUCTURE / SHELL

FACILITIES ASSESSMENT MATRICES - EXTERIOR SHELL PHOTOS



EXT-N-01



EXT-N-02



EXT-N-03



EXT-N-04



EXT-N-05

STRUCTURE / SHELL

FACILITIES ASSESSMENT MATRICES - EXTERIOR SHELL PHOTOS



EXT-E-01



EXT-E-02



EXT-E-03



EXT-E-04



EXT-E-05



EXT-E-06

STRUCTURE / SHELL

FACILITIES ASSESSMENT MATRICES - EXTERIOR CONDITIONS



EXT-S-01



EXT-S-02



EXT-S-03



EXT-S-04



EXT-S-05



EXT-S-06

STRUCTURE / SHELL

FACILITIES ASSESSMENT MATRICES - EXTERIOR SHELL PHOTOS



EXT-W-01



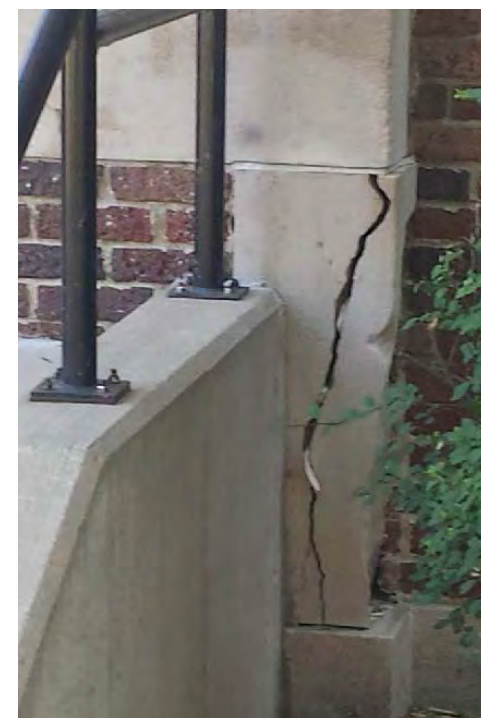
EXT-W-02



EXT-W-03



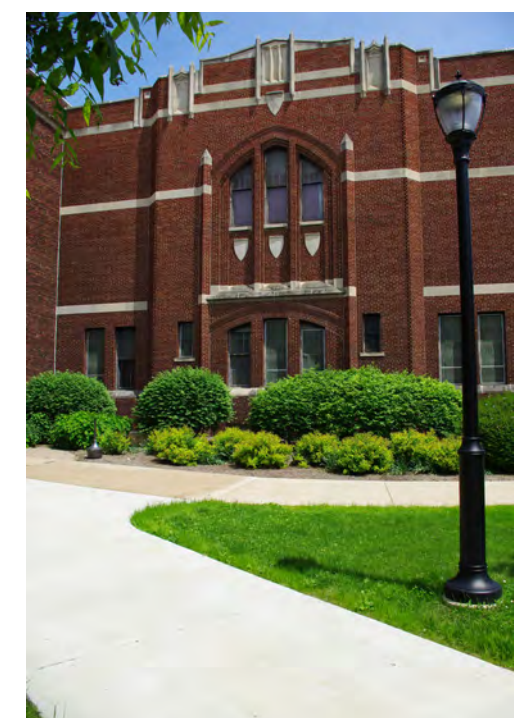
EXT-W-04



EXT-W-05



EXT-W-06



EXT-W-07



EXT-R-01



EXT-R-02



EXT-R-03



EXT-R-04

SECTION D – ENGINEERING AND ENVIRONMENTAL SERVICES

Page Intentionally Left Blank

ENGINEERING AND ENVIRONMENTAL SERVICES

ASSESSMENT OVERVIEW

The facilities assessment matrices describes the various conditions of the building systems in a broad view. The major components of the mechanical, electrical, plumbing, and conveyance systems for example, are described and given a rating. Select photographic images have been provided for specific areas and conditions. A comprehensive item by item analysis of the existing services was not intended to be performed. Ratings are assigned primarily based on empirical evaluation of physical condition. Refer to the rating system chart for more information.

RATING SYSTEM

As each category of the facility was analyzed, each component was graded using the format provided by UW System. The item was given a number based on its condition and functionality from one to seven.

- Items graded one or two are in generally good condition and can remain in use with some or no maintenance or renovation. They are color-coded light green (see chart)
- Items graded three or four are in the fair or poor condition and can only remain in prolonged use or occupation with moderate to significant renovation. They are color-coded yellow.
- Items graded five, six, or seven have reached the end of their useful life. Remediation of items in this condition requires major renovation or repair to complete removal or replacement. They are color-coded red.

Code	Rating	Action Required	Rating Description
1	Good	Minimal Renovation	Suitable for continued use with normal maintenance. The approximate renovation cost is less than five percent of the space / system replacement value.
2	Satisfactory	Limited Renovation	Requires restoration to present acceptable conditions. The approximate cost of restoration is 5-15 percent of the space / system replacement value.
3	Fair	Moderate Renovation	Requires updating or restoration. The approximate restoration cost is 15-30 percent of the space / system replacement value. The physical conditions may have an affect upon building operations.
4	Poor	Significant Renovation	Requires significant updating or restoration. The approximate restoration cost is 30-45 percent of the space / system replacement value. The physical conditions adversely affect building operations.
5	Unsatisfactory	Major Renovation	Requires major restoration with possible need to overhaul building subsystems. The approximate restoration cost is 45-60 percent of the space / system replacement value. Consideration of actual restoration requirements may lead to classifying the facility as being in need of replacement.
6	Replace/ Demolition	Demolition or Abandonment	Should be demolished or abandoned because the building is unsafe and/or structurally unsound, irrespective of the need for the space or the availability of funds for replacement. Additionally, this category takes precedence over categories 1-5. If a building is scheduled for demolition, its condition is reported in this category, regardless of condition.
7	Termination	Termination or Relinquishment	Planned termination or relinquishment of occupancy of the building for reasons other than unsafeness or structural unsoundness, such as abandonment of temporary units or vacating of leased space. Additionally, this category takes precedence over categories 1-6. If a building is scheduled for termination, its condition is reported in this category, regardless of its condition.

ASSESSMENT NARRATIVE

OVERVIEW

A limited Mechanical, Electrical, Technology, Plumbing and Fire Protection systems assessment was performed to gauge the usefulness and longevity of the Wittich Hall Building systems. The format for the data collection was based on the "Uniformat" system of categorizing building components.

In addition to reviewing the existing drawings of the Wittich Hall Building provided by the University, Henneman Engineering performed a field survey of the existing conditions to confirm our findings.

ANALYSIS METHOD:

In addition to reviewing the existing drawings of the Wittich Hall Building provided by the University, Henneman Engineering performed a field survey of the existing conditions to confirm our findings.

PLUMBING SYSTEMS

Piping and Equipment

The majority of the plumbing systems is original and is at the end of their useful life. There are a few plumbing system items that may have been replaced or remodeled throughout the years.

Recommendations

Removal of all original and remodeled/replaced plumbing systems and possible salvage of any newer replaced items of the plumbing system. Any renovation to the Wittich Hall Building will require newly designed plumbing systems.

Fire Protection Systems

Wittich Hall currently does not have a fire protection system.

Recommendations

A fire protection system shall be added as part of the renovation project.

HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

The HVAC systems in Wittich Hall would receive an overall rating of "Unsatisfactory" to "Complete Replacement." The vast majority of the HVAC systems are considered to be at the end of their useful life. Any significant space remodeling would lend itself to the wholesale replacement of the HVAC system.

Utility Service Entrance

Steam/Condensate

The existing 8" steam / condensate service entrance is on the northside of the building. The last upgrade to the steam service and the distribution system was in 1972. The 1972 steam remodeling project replaced control valves, pneumatic controls and heating terminal units for the heating system. Existing heating terminals are convectors and cabinet unit heaters. There is a central condensate pump to return steam condensate back to the plant. Steam low pressure setpoint is 12 psi.

Recommendations

Removal of all of the original piping and remodel / replaced steam distribution system. New piping distribution system will replace the existing piping, control valves, and heating terminal units.

Chilled Water System

At this time within Wittich Hall, there is no chilled water system. All existing air-conditioning systems are standalone fan coil units with DX refrigeration. These are small unitary equipment installed by the University to air-condition the offices and storage areas.

Recommendations

Removal of all small fan coil units, piping, and controls with the outdoor DX refrigeration units. The campus chilled water service will be extended into Wittich Hall for air-conditioning services.

Pneumatic Controls

The building controls are pneumatic air lines serving thermostats and heating control valves. Steam heating valves to pre-heat / reheat coils are also pneumatic controls. There is some minimal DDC controls network monitoring points for air handling system by ESI.

ENGINEERING AND ENVIRONMENTAL SERVICES

Recommendations

Pneumatic controls will be phased out for electronic actuation for valves and dampers.

HVAC Piping and Equipment

The majority of the HVAC systems are original and are at the end of their useful life. There are a few HVAC system items that may have been replaced or remodeled throughout the years. There are three main ventilation air handling units in the lower level to serve Wittich Hall. Two of the three units serve the existing gymnasium / pool area. The other unit serves the main offices / support area and the upper athletic running track. These are constant volume systems and each unit has steam preheating and reheating coils for tempering the outside air / return air. There are also original mixing dampers serving these vertical chases to temper the air supply. Variable Frequency drives have been installed on the supply fans. All three ventilation air handling units have underground air tunnel routing toward the vertical shafts and terminate at the roof. The current HVAC systems have no air filtration serving these units and existing exhaust fans are on the roof to ventilate space. There is an abandoned ceiling suspended fan coil that once served the laundry area in the lower level. This fan coil unit will also be demolished.

Recently, two vertical fan coils with DX condensing units were installed to air-condition the portion of the 1st floor offices areas and lower level storage area. These units will be removed which lends itself to wholesale replacement with a newer HVAC system. These circulation fan coils don't have an economizer cycle or minimum outdoor air serving these spaces. Refrigerant is R-22.

Recommendations

Removal of all original and remodel / replaced HVAC piping system. Any renovation to Wittich Hall will require newly designed HVAC systems, piping and controls. The underground air tunnels will not be utilized. New outside air shafts will be added as a part of the renovation project.

ELECTRICAL SYSTEMS

Service Entrance

Electrical service entrance to the building is served from a campus owned 4.16Y/2.4kV – 208y/120V, 150k pad mounted transformer with a primary connection to campus medium voltage distribution system. The transformer is located at the southeast corner of the building and in good condition, however it is anticipated that the proposed renovations will increase the facility demand such that a replacement is necessary. The pad mounted sectionalizing switch mounted adjacent to the transformer would remain. It appears to be in good condition, however the operation of it was not verified. User agency did not suggest any known issues as part of the preliminary MEP programming meeting.

Recommendations:

Replace exterior pad-mounted transformer with new dry type unit substation located inside the building. The pad-mounted switch should have its terminations inspected and any preventative maintenance requirements performed as part of the renovation project.

Power Distribution

The facility has a single main 600A switch-fuse disconnect supplying a wiring trough where multiple taps are made with additional switch-fuse disconnects or enclosed circuit breakers to supply branch circuit panelboards throughout the facility. The service entrance equipment is in a state of mixed condition. Due to the significance of the proposed renovation, it is recommended it be replaced.

Branch panelboards located throughout the facility are also in a state of mixed conditions, most of which have eclipsed their reliable operating life and replacement is recommended. Many of the panel locations are not compliant with the National Electric Code (NEC) equipment space and working clearances. Reuse of the panelboards installed within the last 10 years or so could be considered if the budget does not allow for all new equipment.

Recommendations

Replace branch circuit panelboards with new equipment from a single manufacturer.

Lighting and Lighting Controls

The lighting systems for the interior and exterior are in various conditions and utilize a mixture of incandescent, fluorescent and HID sources. None of the luminaires appear to be historically significant and have likely been retrofitted over the years. The exterior exit discharges require emergency lighting which is not currently provided at this facility. The lighting controls are also in various states of condition with nearly all of them being manual type. Very few automatic controls were found.

Recommendations

Replace interior and exterior lighting with new systems that utilize modern energy efficient models. The exterior of the building should be studied to determine what types of luminaires, if any, may have been installed around the time of original construction. It is likely there was no building mounted lighting at the time. The approach of the design team may be to integrate or conceal lighting into the landscape or surrounding hardscapes to provide wayfinding and safety lighting, thus allowing the building to appear as it originally did without attached luminaires. Automatic controls including occupancy sensors and daylight harvesting equipment should be added to be code compliant.

Fire Alarm

A Simplex 4100U system was installed in 2005 and is in good working condition. While the 4100U is not the current offering from Simplex, it is a product that will continue to be supported by Simplex for many years to come. Many of the buildings on campus have a 4100U system. The system is connected to campus monitoring through a legacy copper backbone system which is being phased out. A partial area smoke detection system is provided within the building which primarily covers mechanical, storage and corridor spaces. Voice evacuation speaker strobes are provided throughout in all occupied spaces. A remote annunciator with handheld microphone is installed at the southwest entry on first floor. The annunciator is in good working condition.

Recommendations

The 4100U control panel shall be reused as part of the renovation project. It should be upgraded with network audio equipment and connected to the dedicated fire alarm fiber optic backbone serving the other buildings on

campus. The remote annunciator shall also be reused and relocated to the primary entrance. The existing initiation and notification devices shall be replaced as part of the renovation project unless the budget cannot support it. At that point, consideration would be given to reusing the speaker strobes first and then, if necessary the heat / smoke detectors.

COMMUNICATION SYSTEMS

Service Entrance

Fiber Optic Service Entrance is outdated and under-sized. The campus currently has a replacement project proceeding around campus to replace out of date fiber. Wittich Hall is on the list to be replaced and will have new fiber installed as part of that project. The Wittich renovation project should coordinate with the fiber replacement project regarding schedule, fiber size and preferred entrance location. The new fiber should not be installed before or during renovation activities to prevent damage.

Copper telephone cable is older vintage and probably oversized for future needs. With the advent of VoIP there is not much requirement for large pair-count telephone cable.

The coax cable is no longer required and is not used.

Interior Cable

The cable within the building is of various vintages and types. None of it is re-usable.

Recommendations

Coordinate provision of new fiber with the other campus project.

Pull existing telephone cable back to nearest manhole. Reuse or reinstall only 25 pair into Wittich Hall. Alternatively, leave copper pairs in manhole and provide new 25 pair cable directly to Main/Graff Hall via alternate route.

Remove coax cable and do not replace.

Provide all new telecom rooms, provide new fiber optic riser cable and provide new Category 6 station cable to all interior areas.

ENGINEERING AND ENVIRONMENTAL SERVICES

FACILITIES ASSESSMENT MATRICES - CONDITIONS

WITTICH HALL					
CODE	ITEM	DESCRIPTION	CONDITION	PHOTOS	RATING
D	Services Plumbing				
D20					
D2010	Domestic Water Distribution	Original piping and not salvageable. (1916 & 1930)	End of Useful Life		5
D2010.20	Domestic Water Equipment	Not salvageable	End of Useful Life		5
D2010.40	Domestic Water Piping	Original piping and not salvageable. (1916 & 1930)	End of Useful Life		5
D2010.60	Plumbing Fixtures	Original & renovated fixtures and not salvageable. (1916, 1930 & 1978)	End of Useful Life		5
D2020	Sanitary Drainage				5
D2010.10	Sanitary Sewerage Equipment	Original equipment and not salvageable. (1916 & 1930)	End of Useful Life		5
D2020.30	Sanitary Sewerage Piping	Original piping and not salvageable. (1916 & 1930)	End of Useful Life		5
D2030	Building Support Plumbing Systems	Sanitary & Storm Sewer leave building for the south and Domestic Water enter the building from the north.			5
D2030.10	Stormwater Drainage Equipment	Original and not salvageable	End of Useful Life		5
D2030.20	Stormwater Piping	Original piping and not salvageable. (1916 & 1930)	End of Useful Life		5
D2060	Pool piping	Original and not salvageable	End of Useful Life		5
D2060	Pool Equipment	Not salvageable	End of Useful Life		5
D	Services HVAC				
D30					
D3010	Facility Fuel Systems				
D3020	Heating Systems	Original piping are not salvageable. (1916 & 1930). Last upgrade to steam system was in 1972 for steam convectors and stairwell cabinet unit heaters with controls.	End of Useful Life		5
D3020.10	Heat Generation	Low pressure steam from UWL campus heating plant. Original piping and not salvageable. (1916 & 1930).	End of Useful Life		6
D3020.70	Decentralized Heating Equipment	Not Applicable.			

WITTICH HALL					
CODE	ITEM	DESCRIPTION	CONDITION	PHOTOS	RATING
D3030	Cooling Systems	There is no district chilled water system. Campus recently installed DX cooling fan coil units in 2013 serving Bsmt and 1st floor offices areas.	End of Useful Life		6
D3030.10	Central Cooling	Not Applicable.			
D3030.70	Decentralized Cooling	Small packaged DX fan coils units serving Bsmt storage and the 1st floor offices. No economizer or minimum outside air serving these spaces. Ductless split system serving bsmt lounge.	Recent new equipment and good status.		3
D3050	Facility HVAC Distribution Systems	Exhaust fans are in various states of conditions and are not salavable.	End of Useful Life		6
D3050.10	Facility Hydronic Distribution	Not Applicable.			
D3050.30	Facility Steam Distribution	Existing steam would be converted to Hot Water if remodeled. The steam condensate pump and meter is in reasonable condition.	End of Useful Life		5
D3050.50	HVAC Air Distribution	Air handling units (AHUs) are original and are not salvageable. (1916 & 1930). The AHUs are ventilation units with steam heating with no filtration.	End of Useful Life		6
D3050.50	HVAC Air Distribution	The existing supply ductwork is not insulation. Ductwork is original and not salvageable. Outside air tunnels are below grade with debris and materials.	End of Useful Life		6
D3060	Ventilation	Minimum outside ventilation and pressure issues exist with AHUs. Most of the AHUs and fan coils systems are constant volume.	End of Useful Life		6
D3080	HVAC Instrumentation & Controls	Major of the control systems are pneumatic and original to the building. Recent new fan coil units are standalone with electric controls.	End of Useful Life		5

ENGINEERING AND ENVIRONMENTAL SERVICES

FACILITIES ASSESSMENT MATRICES - CONDITIONS

WITTICH HALL					
CODE	ITEM	DESCRIPTION	CONDITION	PHOTOS	RATING
D	Fire Protection				
D40					
D4010	Fire Suppression	No system at this time			
D	Services Electrical				
D50					
	Electrical Service and Distribution	Exterior pad mount transformer 150kVA - 208y/120V	Good. Likely requires replacement due to electrical load demand increase as part of proposed renovation.	E-03	1
	Electrical Service Entrance	Interior Service Entrance Equipment. Main 600A switch fuse supplying wire way with 4 switch fuse taps to panels through the building.	End of Useful Life	E-07, E-08	4
	Electrical Service Entrance	Square D Power Logic Energy metering installed 2014 and connected to campus monitoring system	Good	E-15	1
	Electrical Distribution	Branch panelboards. Some original with some more recent upgrades. Many with working clearance issues.	End of Useful Life	E-09, E-06, E-14	4
	Lighting	Various states of lighting condition. Many spaces requiring upgrades to modern sources	End of Useful Life	E-01, E-02, E-05, E-10, E-11, E-13	5
	Lighting Controls	Various states of control condition. Automatic shut off or timed control limited to areas with recent upgrades.	End of Useful Life	--	5
	Emergency Lighting	Building deficient in many areas with emergency egress lighting	End of Useful Life	--	5
	Wiring Devices	Various states of condition.	Recommend replacement	--	3

WITTICH HALL					
CODE	ITEM	DESCRIPTION	CONDITION	PHOTOS	RATING
D	Communications				
D60					
D6010	Communications Entrance Facility	Entrance fiber is outdated and will be demolished. Campus currently has a project to update fiber throughout campus. Wittich Hall fiber will be replaced under that project. The copper telephone cable will be pulled back to nearest manhole or demolished. New copper will be provided to Graff/Main Hall via tunnel. Any coax cable is obsolete and can be removed.	Fiber: outdated, campus will replace under separate project. Copper: will be removed and replaced. Coax: outdated, removed and not replaced.	IT-1, IT-2, IT-3, IT-8, IT-10,	
D6020	Interior Cable	Cable is of various vintages and condition. Recommend total replacement.	Varies - requires replacement		
D	Electronic Safety & Security				
D70					
D7050	Detection & Alarm	Simplex 4100U voice evacuation system installed 2004 with notification and initiation devices installed throughout building.	Good. Unless the campus standard has changed, the main control panel is good candidate for reuse.	E-04 E-12	2

Photos identified in photo column refer to the partial label on the photos on the following pages (i.e. E-05 would refer to the photo labeled E-05-INTERIOR LTS)

ENGINEERING AND ENVIRONMENTAL SERVICES

FACILITIES ASSESSMENT MATRICES / PHOTOGRAPHY



E-01-EXTERIOR LTS



E-02-EXTERIOR LTS



E-03-EXTERIOR EQUIP



E-04-FAAP



E-05-INTERIOR LTS



E-06-PANELS

ENGINEERING AND ENVIRONMENTAL SERVICES

FACILITIES ASSESSMENT MATRICES / PHOTOGRAPHY



E-07-PANELS



E-08-PANELS



E-09-PANELS



E-10-INTERIOR LTS



E-11-INTERIOR LTS



E-12-FACP

ENGINEERING AND ENVIRONMENTAL SERVICES

FACILITIES ASSESSMENT MATRICES / PHOTOGRAPHY



E-13-INTERIOR LTS



E-14-PANELS



E-15-METER

ENGINEERING AND ENVIRONMENTAL SERVICES

FACILITIES ASSESSMENT MATRICES / PHOTOGRAPHY



P-01



P-02



P-03



P-04



P-05



P-06

ENGINEERING AND ENVIRONMENTAL SERVICES

FACILITIES ASSESSMENT MATRICES / PHOTOGRAPHY



P-07



P-08



P-09



P-10



P-11



P-12

ENGINEERING AND ENVIRONMENTAL SERVICES

FACILITIES ASSESSMENT MATRICES / PHOTOGRAPHY



P-13



P-14



P-15



P-16



P-17



P-18

ENGINEERING AND ENVIRONMENTAL SERVICES

FACILITIES ASSESSMENT MATRICES / PHOTOGRAPHY



P-19



P-20



P-21



P-22



P-23



P-24

ENGINEERING AND ENVIRONMENTAL SERVICES

FACILITIES ASSESSMENT MATRICES / PHOTOGRAPHY



IT-01



IT-02



IT-03



IT-04



IT-05



IT-06

ENGINEERING AND ENVIRONMENTAL SERVICES

FACILITIES ASSESSMENT MATRICES / PHOTOGRAPHY



IT-07



IT-08



IT-09



M-01-ACU-1



M-02-AHU-1



M-03-AHU-2



M-04-AHU-STEAM COIL



M-05-AIR COMPRESSOR-01



M-06-AIR COMPRESSOR-02



M-07-CONDENSATE PUMP



M-08-DX FAN COILS ACCU



M-09-CONDENSING ACCU-1



M-10-CONTROLS



M-11-FAN COIL-FCU-1



M-12-FAN COIL-FCU-1



M-13-LAUNDRY FCU



M-14-MIXING DAMPERS



M-15-NETWORK BAS



M-16-NETWORK BAS



M-17-STEAM HEATING COIL



M-18-STEAM PIPING



M-19-SUPPLY FAN 1



M-20-SUPPLY FAN 2



M-21-SUPPLY FAN 3



M-22-VFD



M-23-TERMINAL HEAT



M-24-WINDOW AC-1

Page Intentionally Left Blank