

MEETING NOTES

Meeting Date: Friday, July 28th, 2017 – 10:30–11:30am
DFD Project Number: 14I2O
Project: Wittich Hall Renovation
Location: Wisconsin Historical Society – 816 State Street, Madison, WI 53706
Purpose: Wittich Hall – Historical Review Meeting
Prepared by: Michael Eberle, AIA

Attendees/Contact Information:

	Name	Company	Phone	Email
X	Jen Davel	Wisconsin Historical Society	(608) 264-6490	jen.davel@wisconsinhistory.org
X	Doug Pahl	Aro Eberle Architects	(608) 204-7464	pahl@aroeberle.com
X	Mike Eberle	Aro Eberle Architects	(608) 204-7464	eberle@aroeberle.com
X	Jacob Himmelman	Aro Eberle Architects	(608) 204-7464	jhimmelman@aroeberle.com
X	Mike Adler	River Architects	(608) 785-2217	m.adler@river-architects.com

The purpose of this meeting was to review interior conditions on the 2nd, 3rd and Main Space on the 1st Floor / Lower Level. Also reviewed was the exterior repair conditions and a potential area well serving the Lower Level mechanical room.

Interior Conditions – 2nd Floor

1. Central Stair
 - a. Jen was ok with the proposal to remove and reinstall the existing pair of doors serving the 1930s gymnasium space in a flipped condition (swinging into the space). Existing configuration does not meet code and encroaches into the stair width.
2. Chair rail
 - a. Central Zone – Removal of the chair rail in the existing east stair and current elevator area was agreed upon. Existing chair rail will be limited to the stair enclosure. **POST MEETING NOTE: Two different finishes of plaster were discovered above and below the chair rail. Additional review is required. Action: Aro Eberle**
 - b. North Zone – Removal of the chair rail (and wood base) in the area between the two new toilet rooms was acceptable as the new floor finish is planned to be tile with a tile base. **POST MEETING NOTE: Two different finishes of plaster were discovered above and below the chair rail. Additional review is required. Action: Aro Eberle**

Interior Conditions – 3rd Floor

3. Central Zone

- a. The group discussed moving the single existing window from its current location in room 302 to a previous location where a similar size window existed in the stair.
- b. Moving the office wall approximately 1 foot (creating a 4 foot wide double height opening) was deemed ok in the 1930 wing north location.
- c. The groups discussed removing the existing wall grilles from the radiator niches in the exterior walls of the 1930 and 1916 wings.
 - i. Removing the 1916 wing grilles and filling with a blank-off or other material was noted as being acceptable.
 - ii. The grilles in the 1930 wing are in brick and located in the history display zones on the west and south walls. Jen thought we could have more flexibility with what goes back into these opening or if they are left as recesses and something else incorporated.

Interior Conditions – 1916 wing first floor/lower level 2 story space

- 4. Either plaster or GWB on the two story columns was discussed as acceptable.
 - a. Long term durability of the column finish was noted as a concern. Painted steel corner guards were ok as well as other surface applied materials. Detailing should appear new and not replicate historic.

Exterior Conditions

5. Overview

- a. Mike Adler presented an overview of the exterior rehabilitation scope with no significant scope changes indicated.

6. Brick

- a. Cleaning / Pointing
 - i. All brick (interior and exterior) is planned to be cleaned.
 - ii. 40% of the brick is currently planned to be pointed.
- b. New Brick
 - i. The group discussed the need to define allowances for new brick and additional pointing. **Action: Aro Eberle / River Architects**
 - ii. It was noted that Mike will have several brick suppliers visit the site and try to match color and texture. **Action: River Architects**
 - 1. It was noted that an exact match may not be possible, but will get close.
 - 2. Brick match will need to be approved by DFD and UWL.
 - iii. New brick on the trash enclosure will match the other enclosures being installed on campus and not match the building.
- c. Brick Repairs
 - i. Stepped cracks are being documented on the elevations.

- ii. Skyward facing brick joints were discussed with the group agreeing that these could be caulked or a piece of flashing installed.
- iii. Bricks with holes in the face were discussed as being removed and possibly flipped over if the back finish of the brick matches the face. Otherwise bricks would be removed and replaced with new.

7. Limestone

- a. Mike reviewed areas and details for replacing the 2" facing of several damaged stones at the northwest entry.
- b. Mike described a Jahn mortar patching product that they have used successfully for repairing areas where stone has spalled.
 - i. Mike noted successful experience Bonstone out of Mukwonago.
 - ii. Epoxy bond is very strong and color match is nearly exact.

8. Roofing

- a. Core samples of insulation thickness are being scheduled by campus. **POST MEETING NOTE: Data from sampling was received via email on 8/10/17.**
- b. Area of existing limestone coping at the south end of the 1916 wing is adjacent to the new mechanical penthouse and was recommended by our envelope consultant to be removed and flashed over due to concerns of snow drifting. The group agreed to removing and flash over the top. Coping could be salvaged and incorporated into the historic display.
- c. Existing coping stones (and mortar joints) are in good shape and were previously discussed as being removed and new flashings installed under. Per discussions with DFD the coping stones will remain and no new flashing installed. Coping will be cleaned and joints reworked as needed.
- d. Existing insulation thickness was discussed and a minimal amount of new insulation will be added. Insulation thickness will be driven by flashing requirements.
- e. Existing mechanical items are being removed and roof holes patched.
- f. Skylights are being removed and replaced with light monitors.
- g. There are no gutters on the project.

9. Windows

- a. New aluminum clad windows with wood interiors are proposed.
- b. Investigative demolition of 6–8 existing windows has occurred with several of the existing conditions presented.
 - i. It was noted that the existing drawings are pretty accurate.
 - ii. Glass block was installed over the existing wood sill.
 - iii. Jamb condition will need to be filled with mortar & epoxy.
- c. Paint analysis of 24 interior and exterior locations is underway.

- i. It was noted that this is not required by WHS, but now is the time to capture this existing information before the windows and other materials are removed and evidence destroyed.

10. Doors

- a. Continuing to work with historic documents to define the detailing of the existing entry doors.

11. Proposed Areaway

- a. A new areaway is being proposed in the north side of the 1930 wing under the entry sidewalk. We are investigating a way to get demolition debris out of the Lower Level, a way to get new construction materials into the building, and a route for future maintenance items to get in and out of the mechanical room.
- b. In general, the concept of a lift off concrete lid was approved with future development to be shared with WHS. **Action: Aro Eberle**

12. Mechanical Room Ventilation Louver

- a. A possible louver location was being considered to be installed in the Lower Level 1930 wing, north wall, eastern most window. This was deemed an acceptable location for this louver if needed.

Next Steps

- 13. The group discussed sharing ideas/ solutions by email with Jen and only scheduling a meeting if needed.

CC: All present, Executive Committee and Design Team

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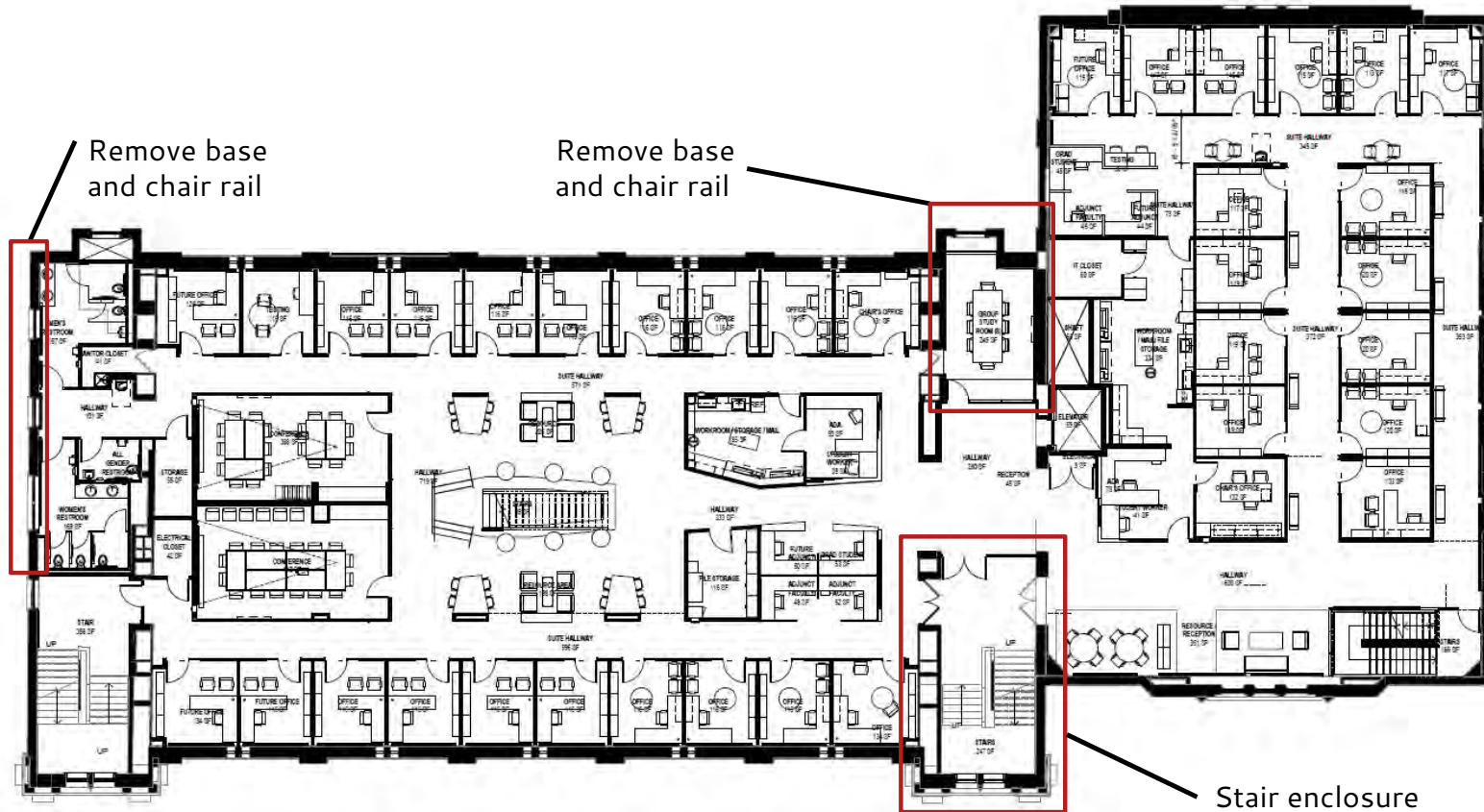
Attachments: PPT presentation dated 170728



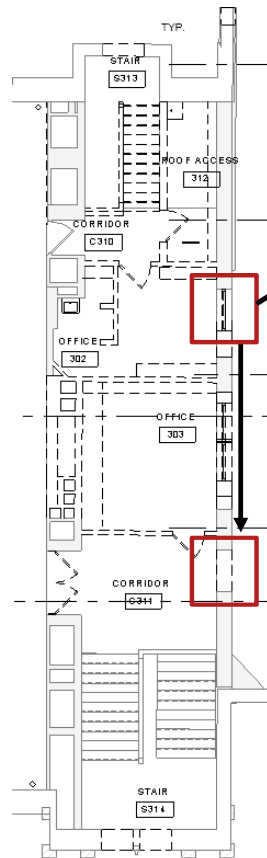
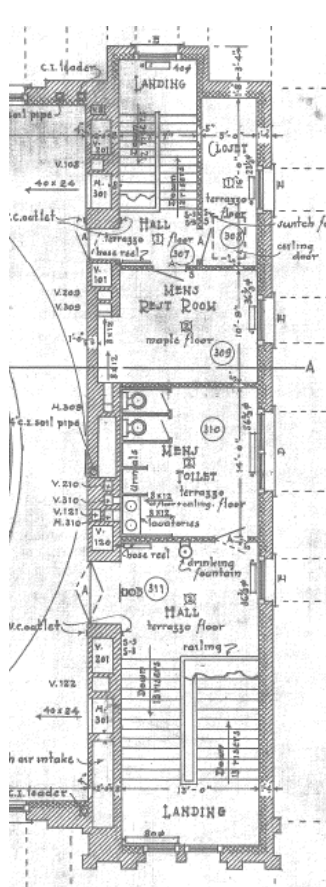
ARO EBERLE
ARCHITECTS

WITTICH HALL

SECOND FLOOR REMODEL PLAN

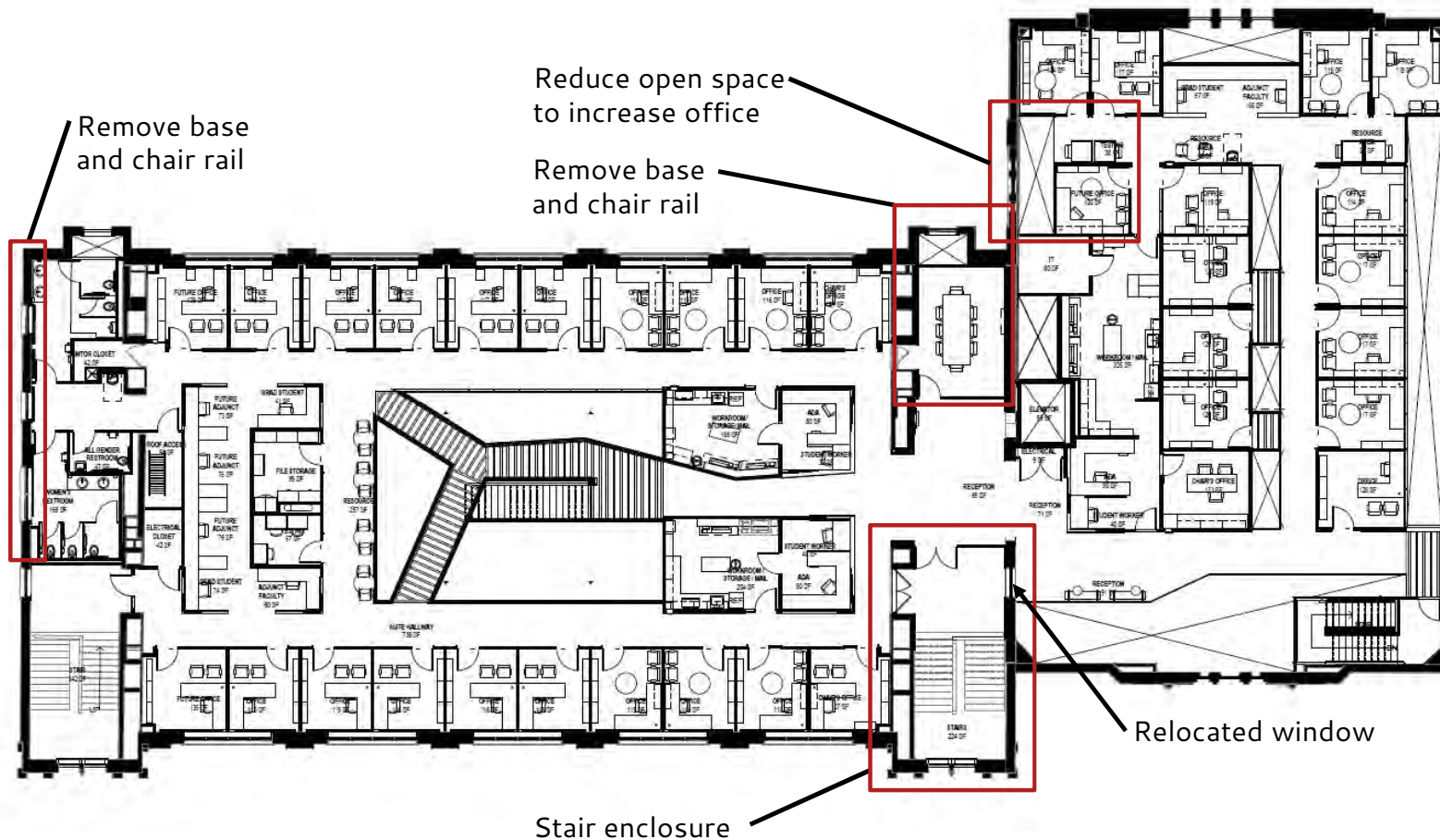


THIRD FLOOR WINDOWS

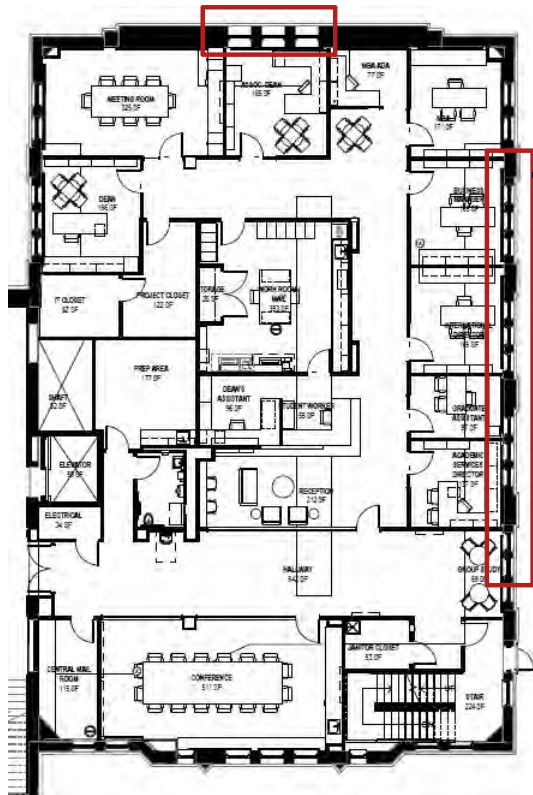


Relocate window to previously blocked up location

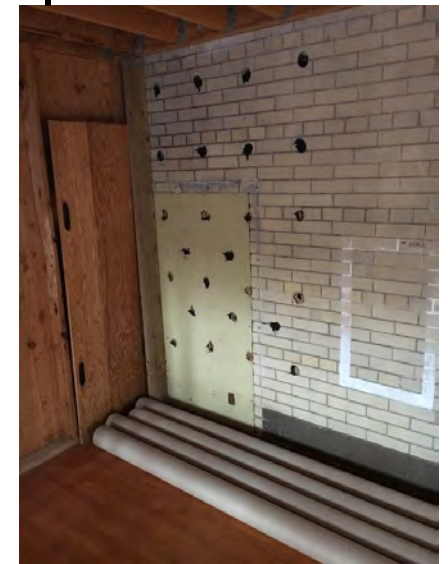
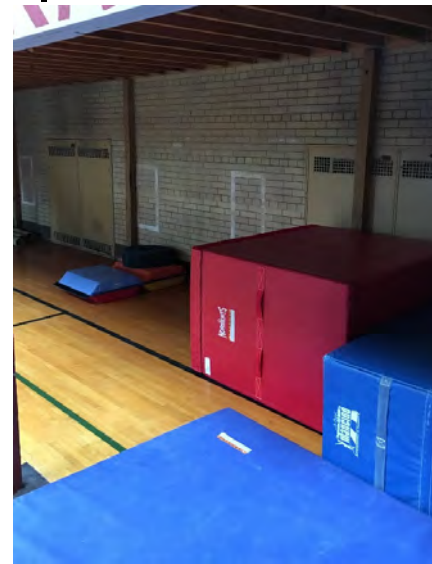
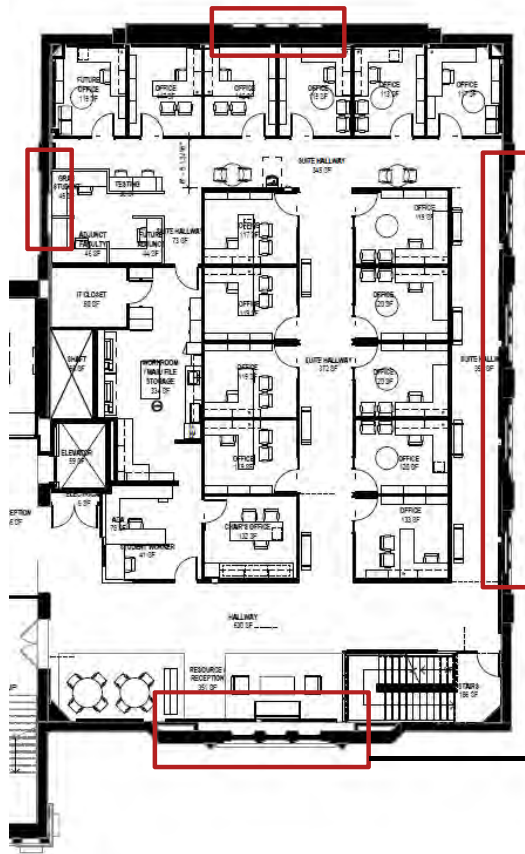
THIRD FLOOR REMODEL PLAN



FIRST FLOOR RADIATOR RECESSES



SECOND FLOOR RADIATOR RECESSES









EXTERIOR RESTORATION/REHABILITATION – SCOPE OF WORK SUMMARY

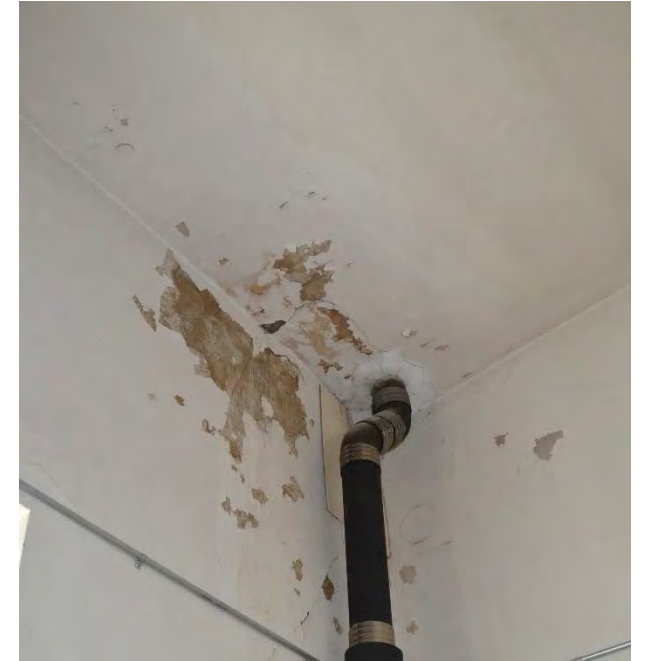
Scope of Work Summary – Exterior

- Walls
- Roofs
- Doors
- Windows
- Roof Monitors



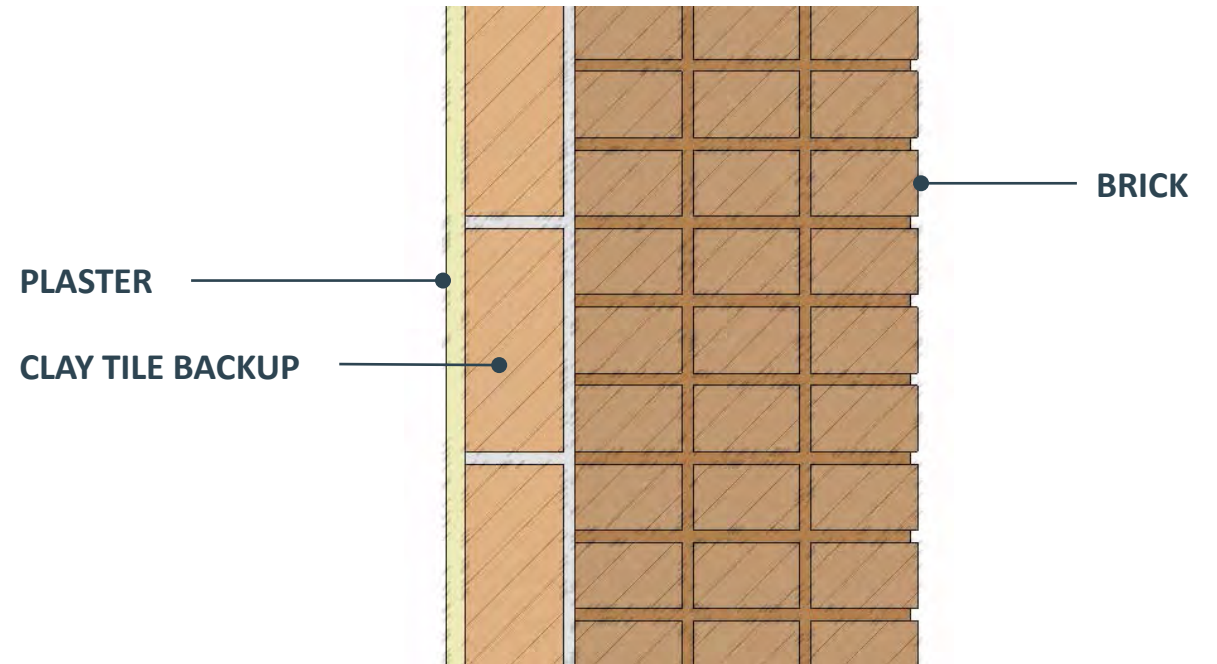
EXTERIOR RESTORATION/REHABILITATION - WALLS

- Brick
- Limestone
- Plaster
- Brick Wainscot @ Gymnasiums
- Thermal Performance Evaluation
 - No proposed insulation to be added to wall system



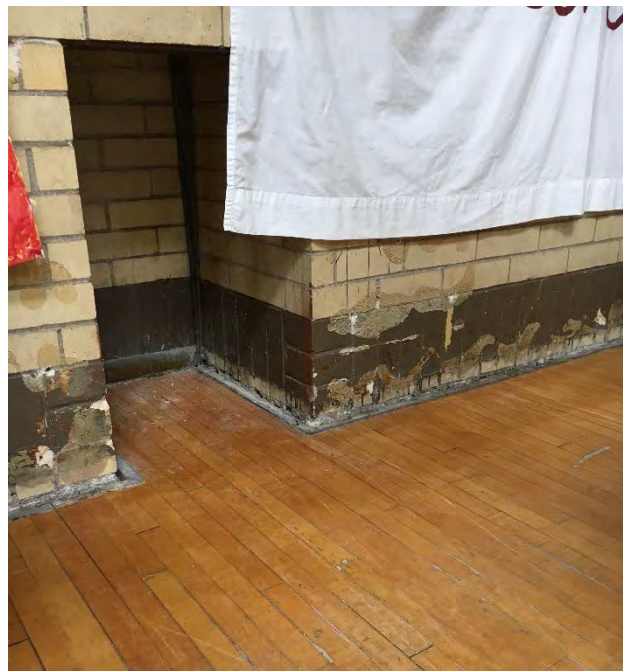
EXTERIOR RESTORATION/REHABILITATION - WALLS

- Brick Masonry Restoration
 - Clean 100% of brick exterior
 - Pointing as indicated
- Limestone Masonry Restoration
 - Clean 100% of limestone
 - Pointing of 100% of limestone joints
 - Stabilization of broken limestone panels
- Plaster Restoration

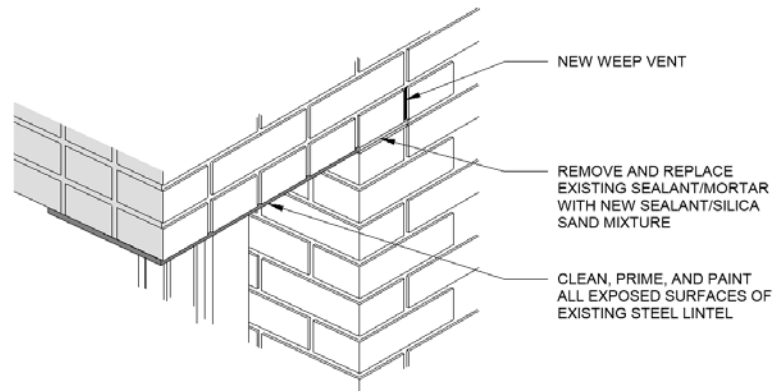
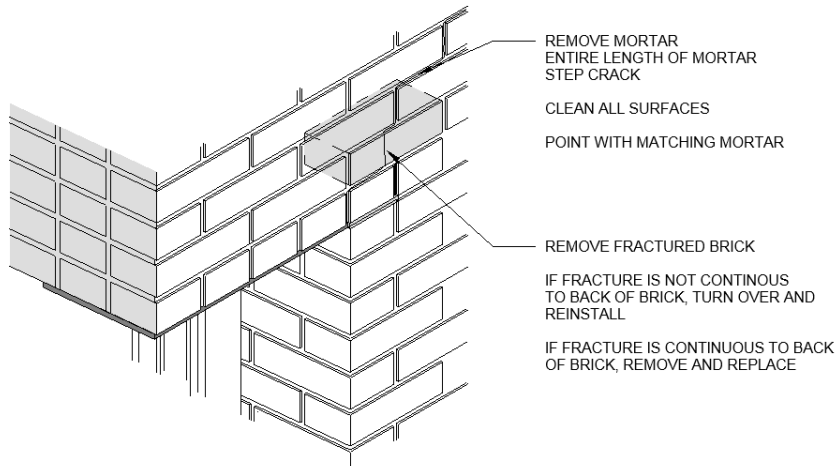


Mortar analysis currently underway.

EXTERIOR RESTORATION/REHABILITATION - BRICK

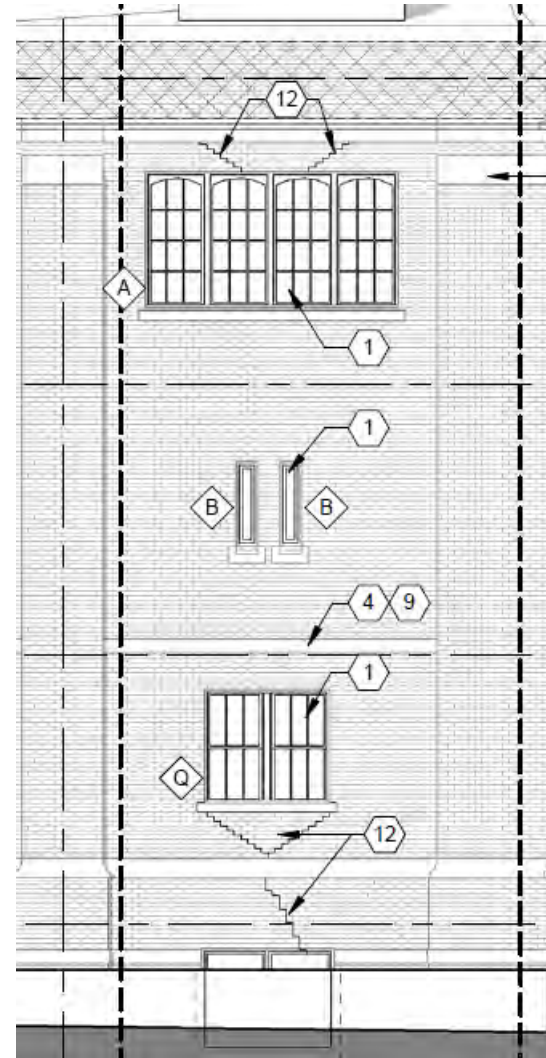


EXTERIOR RESTORATION/REHABILITATION - BRICK



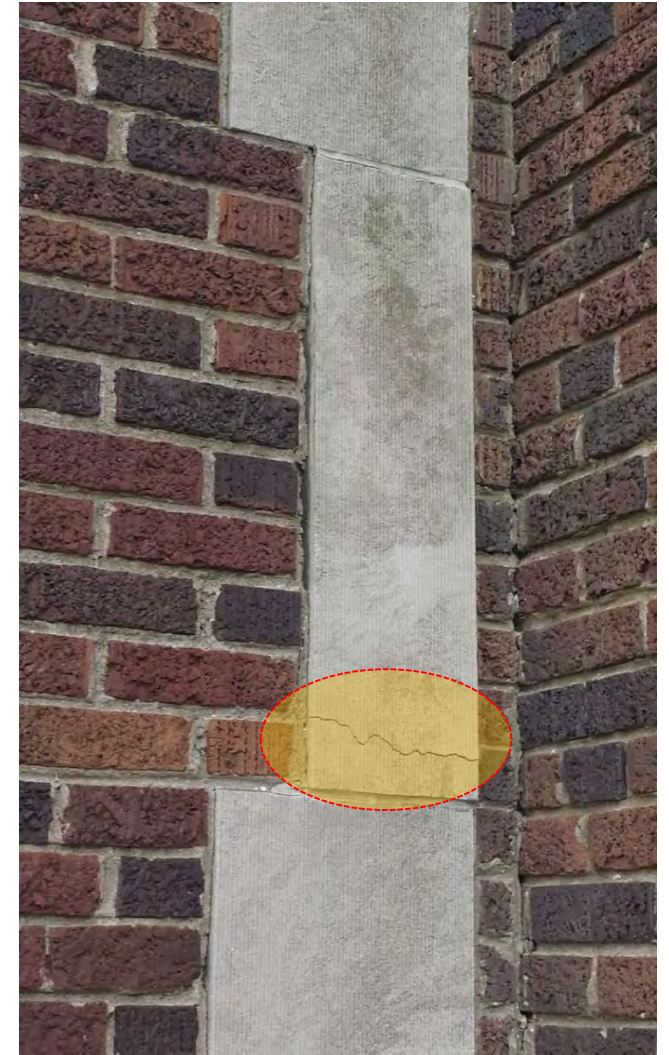
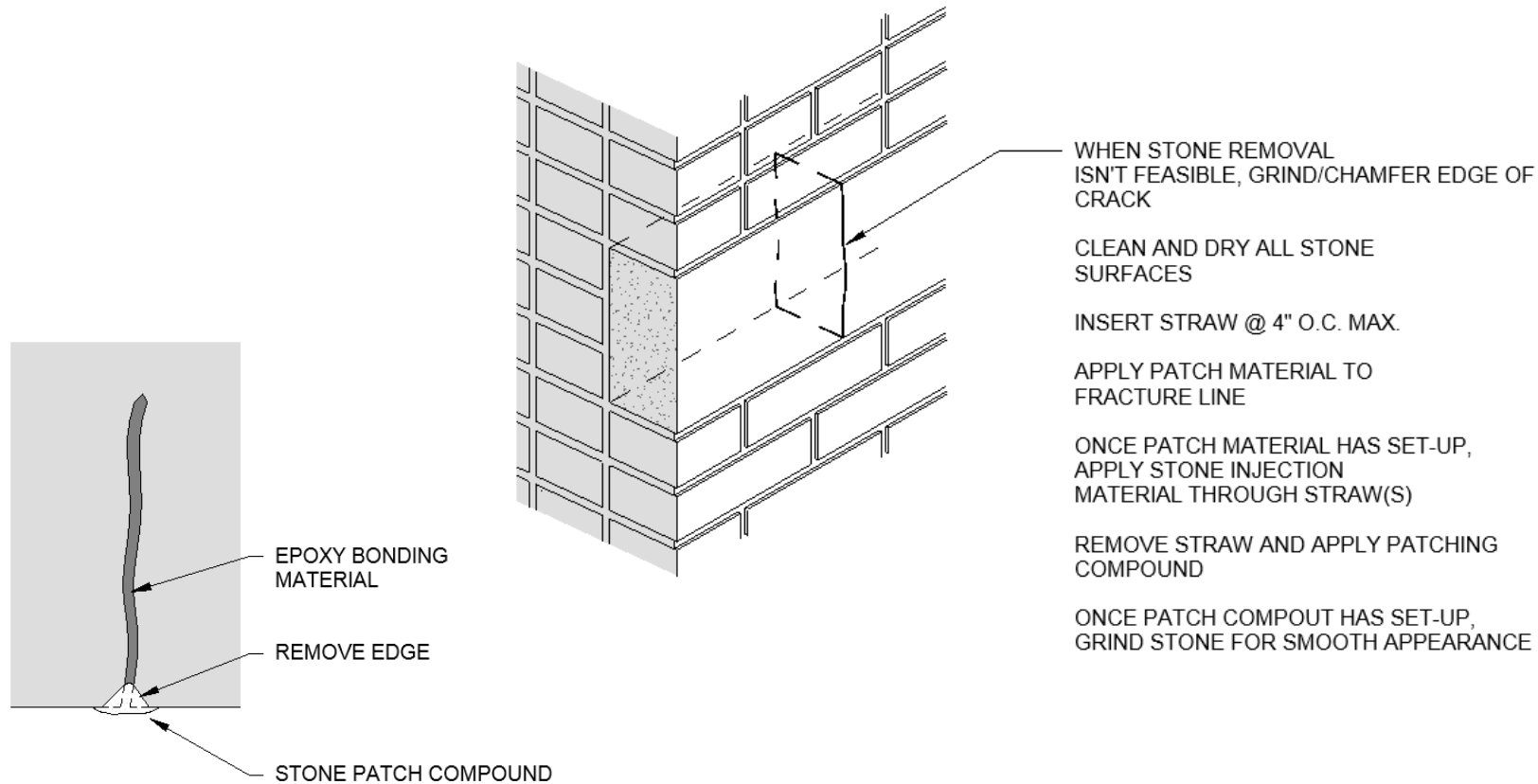
Brick Allowance:

Contractor bid to include allowance for 500(?) replacement brick for fractured units that are deemed unsalvageable. Replacement brick to be used where MEP items are removed.

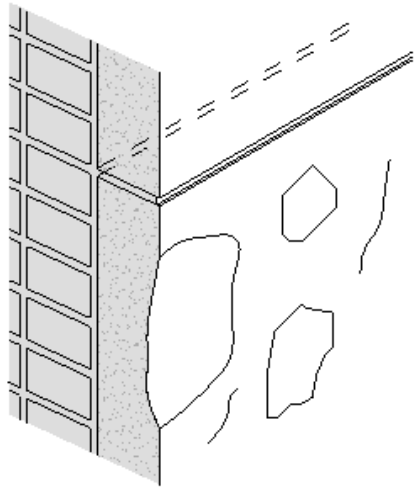


EXTERIOR RESTORATION/REHABILITATION - LIMESTONE

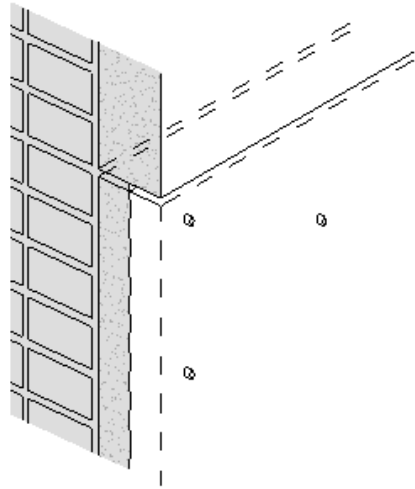
- Limestone Repair & Stabilization
 - Repair vs. Replacement



EXTERIOR RESTORATION/REHABILITATION - WALLS

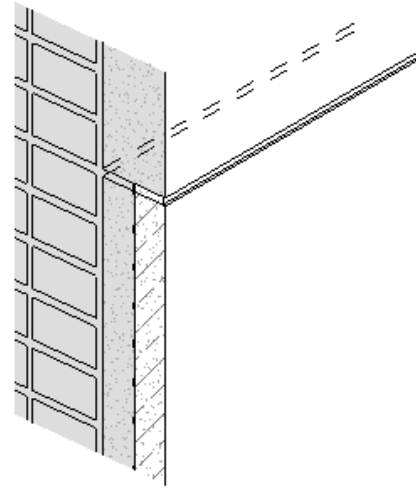


EXISTING STONE PANEL



DETAIL STEP 1:
REMOVE 2" MIN. FROM STONE
PANEL FACE

DETAIL STEP 2:
INSTALL 1/2" SS BOLTS EPOXY
SET INTO STONE AND MASONRY
BACKUP



DETAIL STEP 3:
PROVIDE HOLE DEPRESSION
AT BACK OF NEW STONE PANEL
FOR SS BOLTS TO RECESS INTO

DETAIL STEP 4:
INSTALL SHIMS AT BOTTOM OF
PANEL TO PROVIDE
TEMPORARY SUPPORT DURING
SETTING PROCESS

DETAIL STEP 5:
APPLY EXPOXY ADHESIVE TO
BACK OF STONE PANEL - SET
INTO PLACE - ENSURE 100%
COVERAGE - REMOVE AND
INSPECT UNTIL COVERAGE
REQUIREMENT HAS BEEN MET



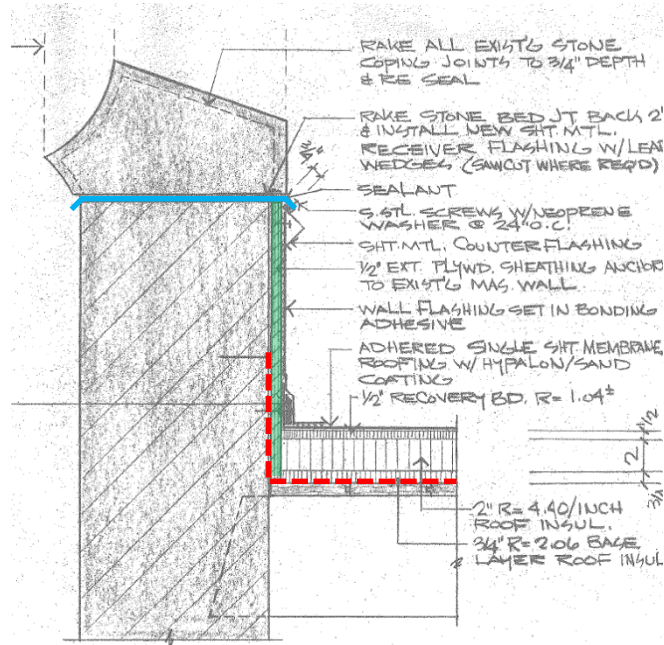
EXTERIOR RESTORATION/REHABILITATION - ROOFS

- Existing Construction (1916)
- Existing Construction (1930)
- Plaster Restoration @ Ceilings
- Proposed Scope
 - Complete Re-Roof – adhered EPDM
 - New Flashings
 - Added Insulation Thickness Where Possible
- Light Monitors
- Thermal Performance Evaluation

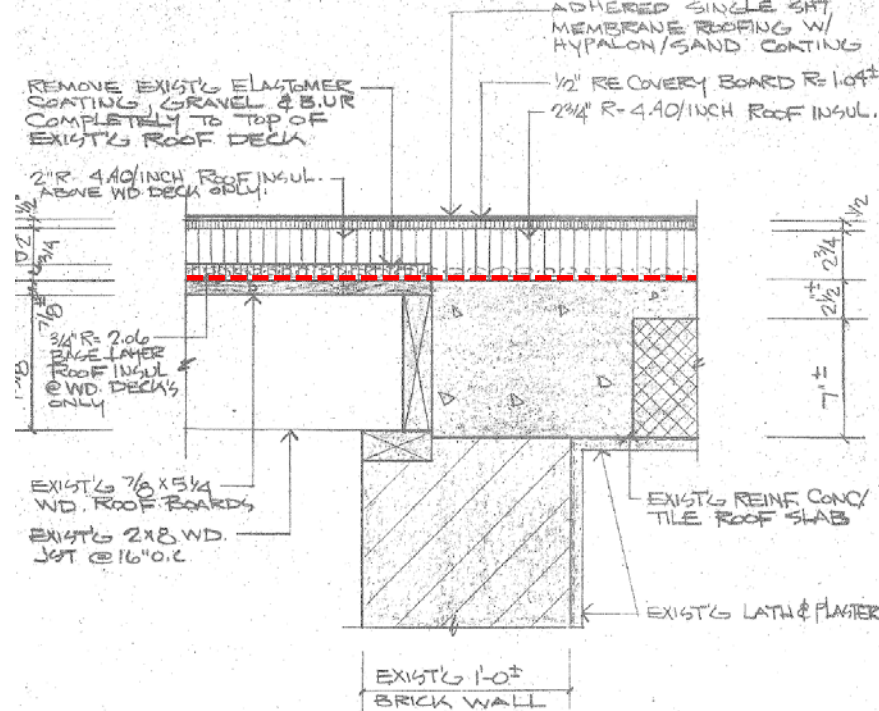
Investigative demo currently on hold.



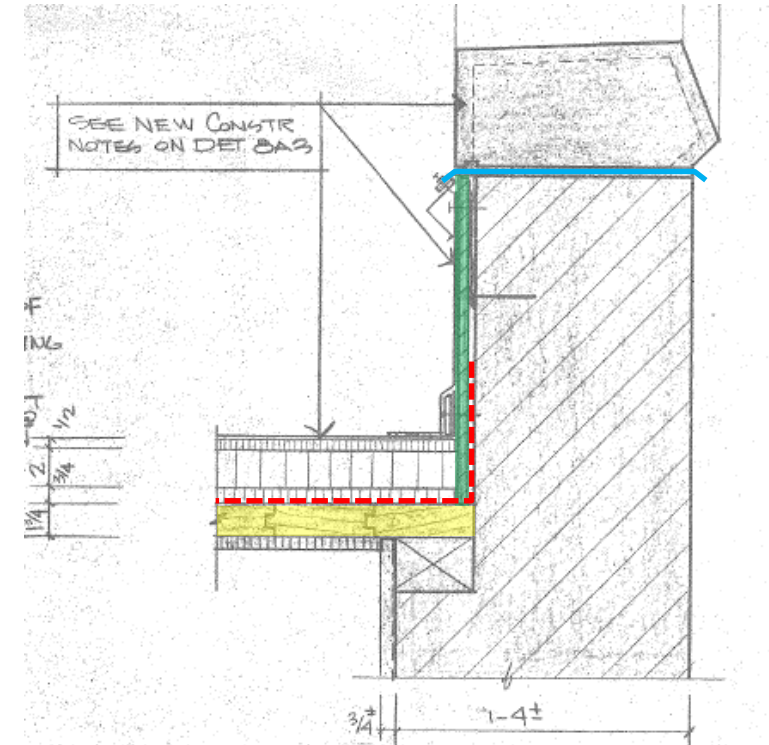
EXTERIOR RESTORATION/REHABILITATION - ROOFS



2 NEW ROOF/PARAPET DETAIL
1 1/2



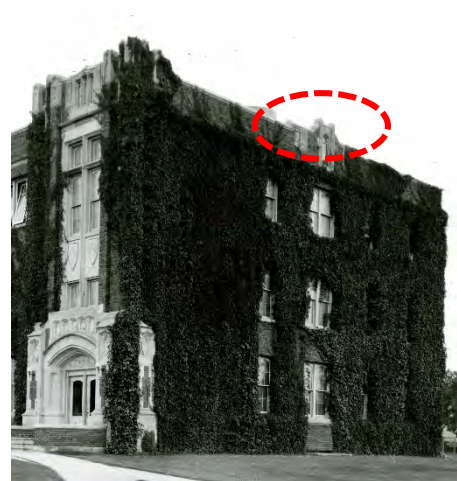
3 ROOF DETAIL
1 1/2



12 NEW ROOF/PARAPET DETAIL
1 1/2

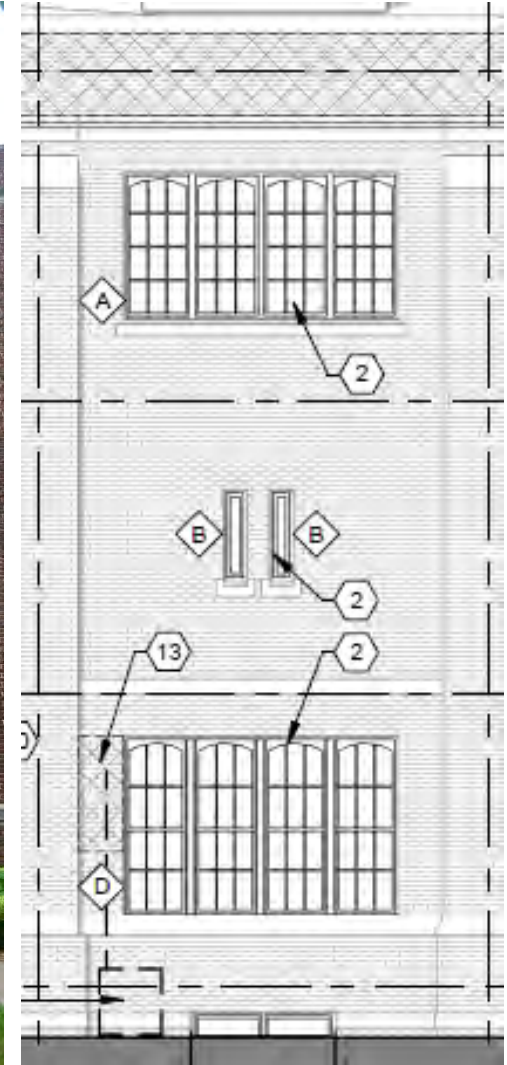
- Insulation thickness ranges from 2" to 2 3/4" (4" min. recommended). Challenges with vertical height at various parapets.
- 1930 Gymnasium has 1 3/4" structural wood decking that was originally exposed and has since been covered (highlighted in yellow).
- Verification needed if plywood sheathing was installed at back of parapets as detailed (highlighted in green).
- Installation of vapor barrier membrane will be included in roofing work (shown in red) along with flashing beneath stone coping

EXTERIOR RESTORATION/REHABILITATION - ROOFS



EXTERIOR RESTORATION/REHABILITATION - WINDOWS

- Existing Construction
 - Historic Profiles
 - Muntin Bars
 - Exterior Casings
 - Interior Casings
 - Interior Sills
- Proposed Scope
 - 100% Replacement

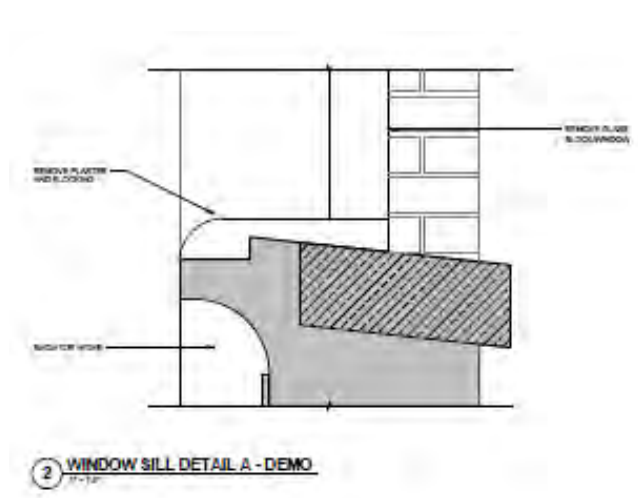
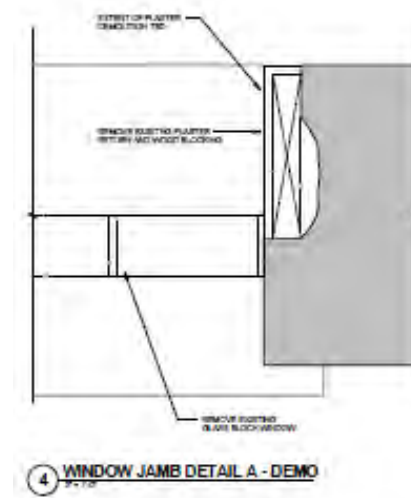
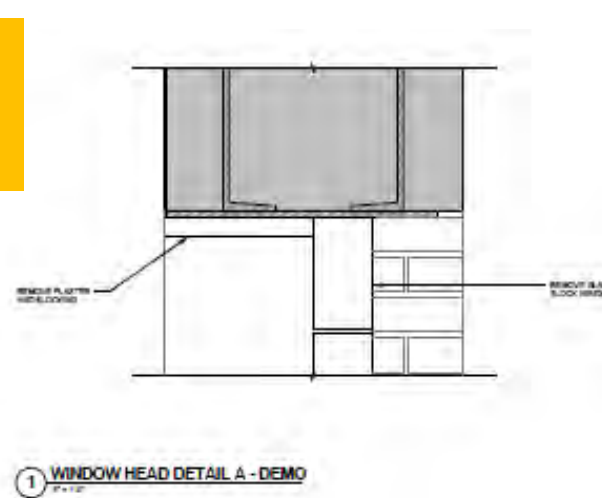


EXTERIOR RESTORATION/REHABILITATION - WINDOWS

- Investigation
Demo Complete
- Implementation
of Findings



Paint analysis
currently underway.



EXTERIOR RESTORATION/REHABILITATION - DOORS

- Existing Construction
 - Historic Profiles
 - Exterior Casings
 - Interior Casings
- Proposed Scope
 - 100% Replacement
 - Metal-Clad Wood Doors

