

MEETING NOTES

Meeting Date: Friday, July 7th, 2017 – 11am-12pm
DFD Project Number: 14I2O
Project: Wittich Hall Renovation
Location: Wisconsin Historical Society – 816 State Street, Madison, WI 53706
Purpose: Wittich Hall – Historical Review Meeting
Prepared by: Michael Eberle, AIA

Attendees/Contact Information:

	Name	Company	Phone	Email
X	Jen Davel	Wisconsin Historical Society	(608) 264-6490	jen.davel@wisconsinhistory.org
X	Doug Pahl	Aro Eberle Architects	(608) 204-7464	pahl@aroeberle.com
X	Mike Eberle	Aro Eberle Architects	(608) 204-7464	eberle@aroeberle.com
X	Christine Pearson	Aro Eberle Architects	(608) 204-7464	pearson@aroeberle.com

The purpose of this meeting was to review proposals for new interior guard/hand rails at floor openings and stairs, existing doors at entry zones, and proposed interior finish palette / pattern language.

Railings

1. Doug presented a new design option for the railings. He reviewed the motif for all the guard / hand railings as being reflective of the exposed existing roof trusses within the building.
 - a. The railing design is a simplified version of the trusses.
 - b. Steel angles are reminiscent of truss construction.
 - c. Horizontal members will be 1/4" or 3/8" diameter steel rods.
 - d. All steel will be powder coated per the request from UW La Crosse.
 - e. The presented concept was acceptable.

Doors

1. 1916 – 1st Floor North Entry Zone Doors
 - a. Existing door in the north-south partition at the west entry was discussed.
 - i. The door needs to be removed and a new 90-minute door installed per code requirements.
 - ii. Jen requested that the existing opening and casing be kept at this location.
 - iii. A new fire rated door and sidelight will fill the existing cased opening.
 - iv. Jen requested that any of the new doors on the project not be faux wood grain. We confirmed that we will not have any of this in the project.

- b. New east entry partition
 - i. The new glass door and glass partition proposed creating a new vestibule was acceptable.
 - c. Single door into the SBDC workroom was requested to be kept, but could receive drywall or plaster partition on the workroom side.
2. 1916 – 1st Floor South Entry Zone Doors
- a. The presented option showing the existing framed opening with the existing doors that were previously removed was acceptable.
 - b. New pair of doors from the South Entry Zone into each wing was ok as discussed.
3. 1916 – 2nd Floor
- a. Ok to move existing pair of original doors (and opening trim) from the South Zone to the North Zone to replace the current non-historic hollow metal frame and wood door that was in the 1970 elevator project. Existing pair of doors is required to be replaced with 90-minute doors per code.
 - b. Keeping the existing historic single leaf doors on the east side in 2 locations (on 2nd floor and 1st floor?) was acceptable.
 - c. Additional discussion is required to confirm the enclosure requirements for the open stair in the South Entry Zone.
4. All historic doors could be fixed closed or used as operable / functional doors.
- a. The preference is for doors to remain functional if possible.
 - b. If closed, a drywall or plaster partition could be built behind if wall space is needed. The gymnasium side (priority side) of the doors was requested not to have drywall or plaster installed.

Interior Finish Concept

1. Christine presented the initial interior finish concepts for the project.
 - a. Cues for the interior finishes were borrowed from the existing structure.
 - i. Pattern languages for screens, carpet pattern, and glass pattern were presented with concept being supported by WHS.
 - b. Pin wheel pattern from the existing tile was discussed. Concept was ok with the scale of tile being flexible.
 - c. Pool wall tile was discussed and will be kept. Design team thought there was consensus with keeping this tile.
 - d. Interior paint colors were discussed.
 - i. There is no purview of WHS over interior paint colors.
 - ii. Exterior window color and exterior paint color (if any) are of concern to WHS.
 - iii. Replicating interior historic colors was left to the discretion of the design team.
 - e. Wood gymnasium floors were requested to be kept and protected.

- i. Keeping markings was noted as being important.
 - ii. Patching areas where plywood has been installed with salvaged material was thought to be acceptable.
- f. Repurposing of the existing 3rd floor running track was discussed.
 - i. Reuse of the supporting wood beams for the glass bridge support structure was acceptable to WHS. Beams are planned to be refinished. Bridges will be detailed with modern materials as to not indicate they are historical.
 - ii. Reuse of the wood decking as a wall / ceiling cladding material in the Lower Level only was acceptable to WHS. Material detailing has not yet been determined.
 - 1. Jen noted to take care with the reuse of this wood material as to not make it look as though it was original – “falsify history”. Detailing in a modern way would differentiate the reused vs. original.
- g. Existing wall trim was discussed. Extent of existing wall trim to remain. WHS did not want trim to be salvaged and relocated to new areas.
 - i. WHS was ok with existing trim being refinished / refurbished.
 - ii. New trim was discussed has matching wood species, but having a new modern profile.
- h. The reuse of pattern glass was discussed. Keeping the glass in place where we can was encouraged. A new pattern mimicking the existing was discussed for new locations.
- i. Design of columns on the first floor and lower level was discussed. Plaster column was encouraged.
 - i. WHS recommended that the columns not be made into a feature and be simply detailed as they originally occurred.
 - ii. A simple base at the bottom of the columns was discussed.

Next Steps

1. Items discussed will be incorporated into the plans.
2. The group discussed meeting on a 3-week frequency until we get through historical / design questions. Jen was amenable to meeting on this frequency. Tentative next meeting 7/28/2017.

CC: All present, Executive Committee and Design Team

Bob Hetzel – UW-LAX –Administration – (608) 785-6491 – bhetzel@uwlax.edu

Doug Pearson – UW-LAX Planning & Construction – (608) 785-8014 – dpearson@uwlax.edu

Scott Schumacher – UW-LAX Planning & Construction – (608) 785-8916 – sschumacher@uwlax.edu

Cathy Weiss – UW System Administration – (608) 263-4417 – cweiss@uwsa.edu

Maura Donnelly – UW System Administration – (608) 263-5742 – mdonnelly@uwsa.edu

Laura Milner – UW-LAX CBA – (608) 785- 8090 – lmilner@uwlax.edu

Ken Rhee – UW-LAX CBA – (608) 785-8095 – krhee@uwlax.edu
Matt Aro – Aro Eberle Architects – (608) 204-7464 – aro@aroeberle.com
Shannon Miller – Aro Eberle Architects – (608) 204-7464 – smiller@aroeberle.com
Jacob Himmelman – Aro Eberle Architects – (608) 204-7464 – jhimmelman@aroeberle.com
Brad Biddick – Henneman Engineering – (608) 833-7000 – bbiddick@henneman.com
Bill Patek – SmithGroupJJR – (608) 251-1177 – bill.patek@smithgroupjjr.com
Nate Novak – SmithGroupJJR – (608) 251-1177 – nate.novak@smithgroupjjr.com
James Hall – Oneida Total Integrated Enterprises (OTIE) – (608) 243-6470 – jhall@otie.com
Greg Clark – The Sextant Group – (412) 323-8580 x127 – gclark@thesextantgroup.com
Todd Kreps – The Sextant Group – (412) 323-8580 x101 – tkreps@thesextantgroup.com
Tom Middleton – Middleton Construction & Consulting – (414) 716-4400 –
tmiddleton@middleton-cc.com
Paul Martzke – Immel Construction – (920) 468-8208 – paulma@immel-builds.com

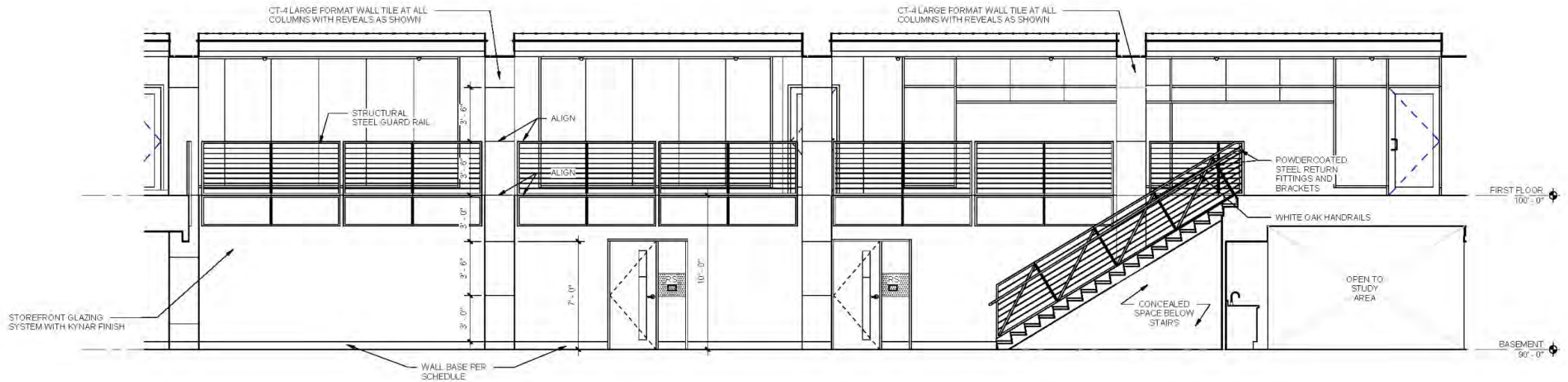
Attachments: PPT presentation dated 170707



ARO EBERLE
ARCHITECTS

WITTICH HALL

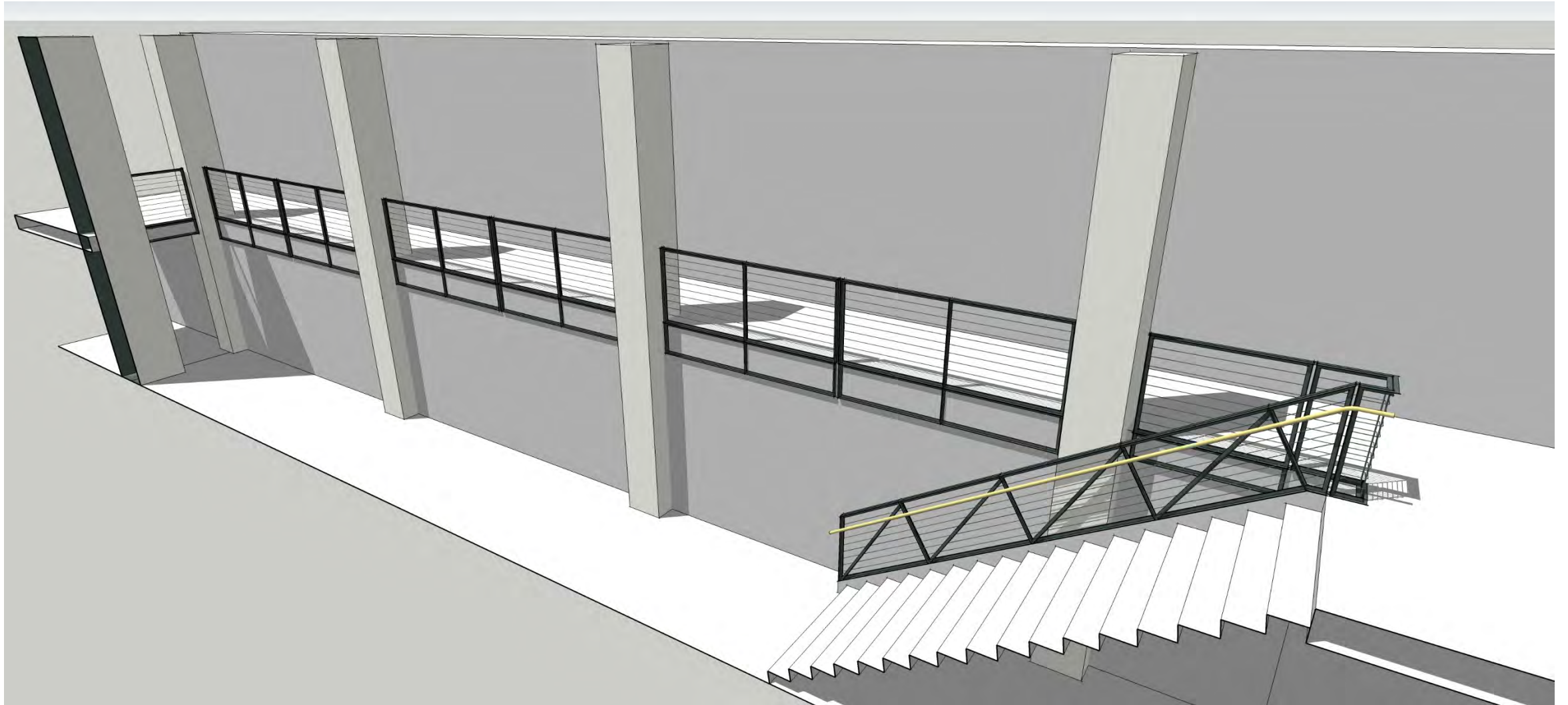
HANDRAILS / GUARDRAILS



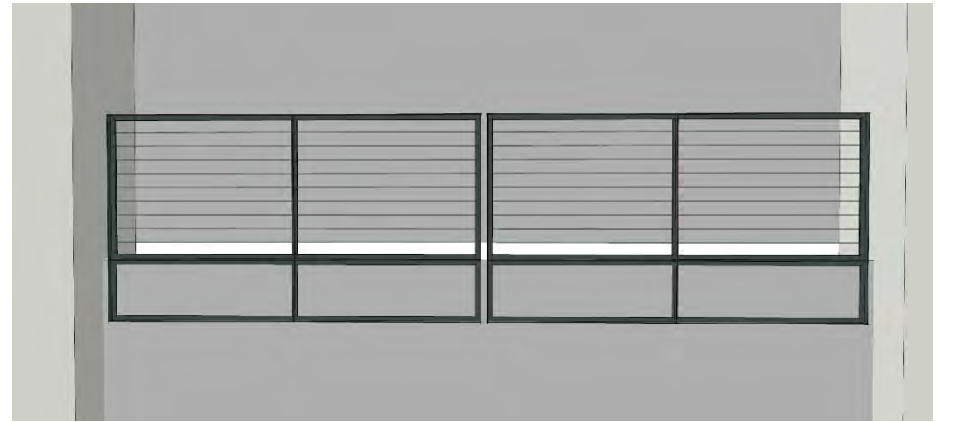
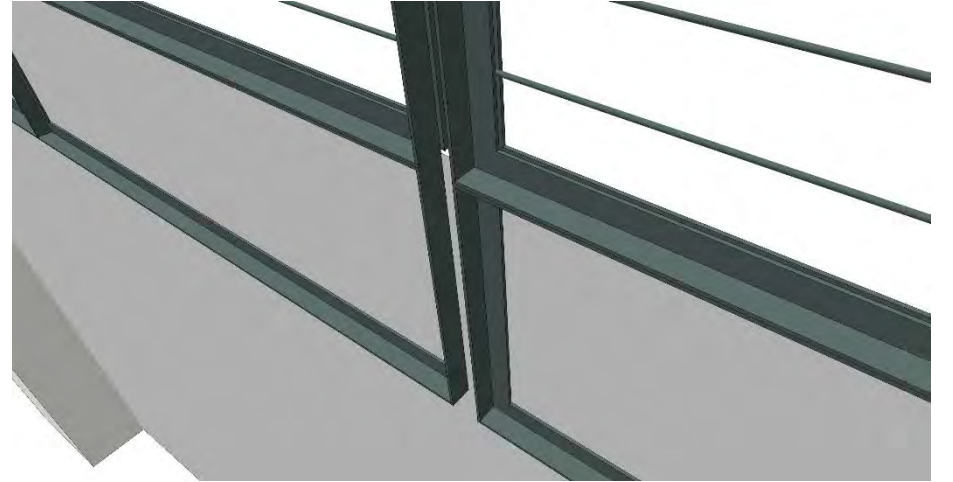
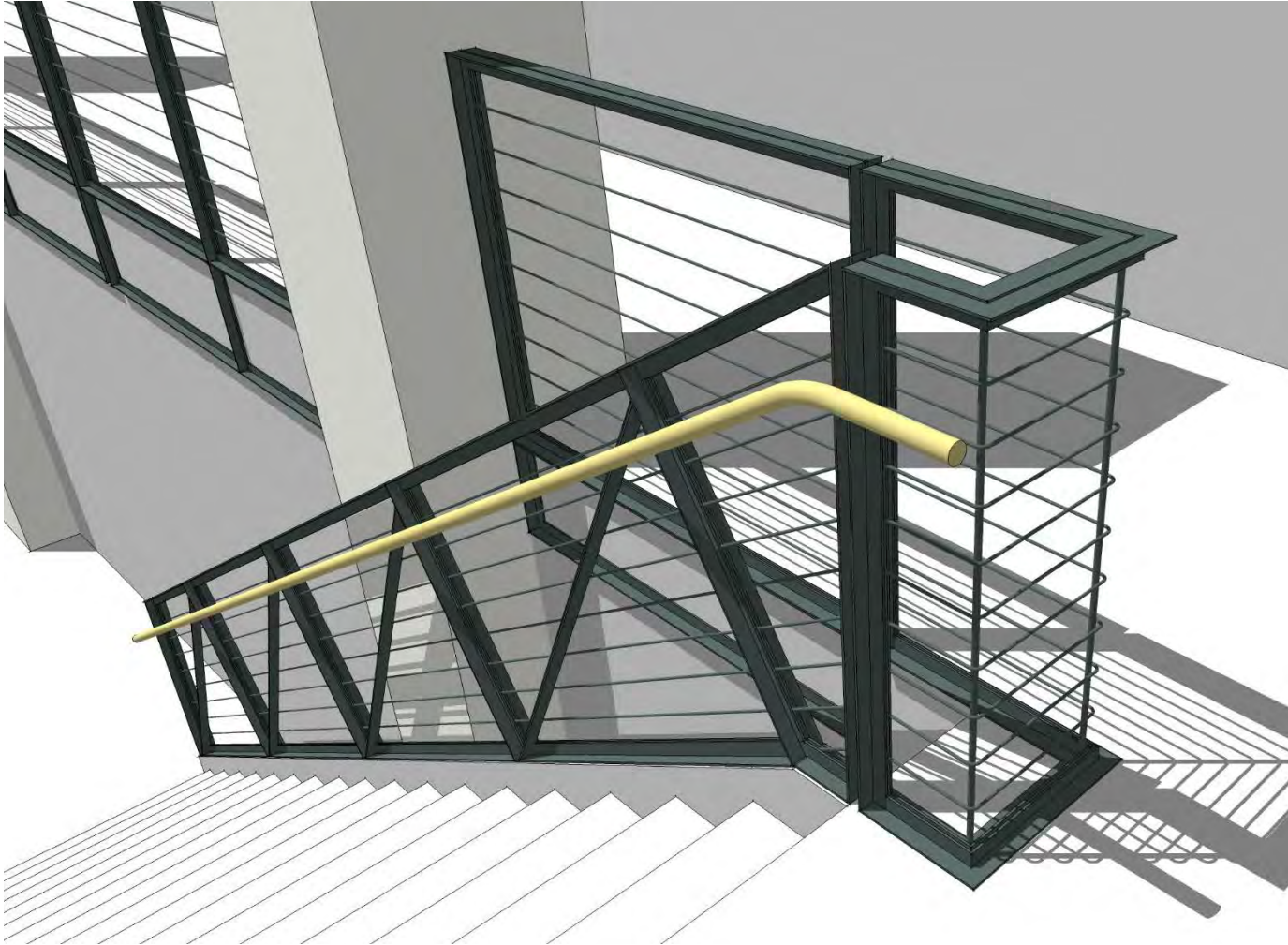
HANDRAILS / GUARDRAILS



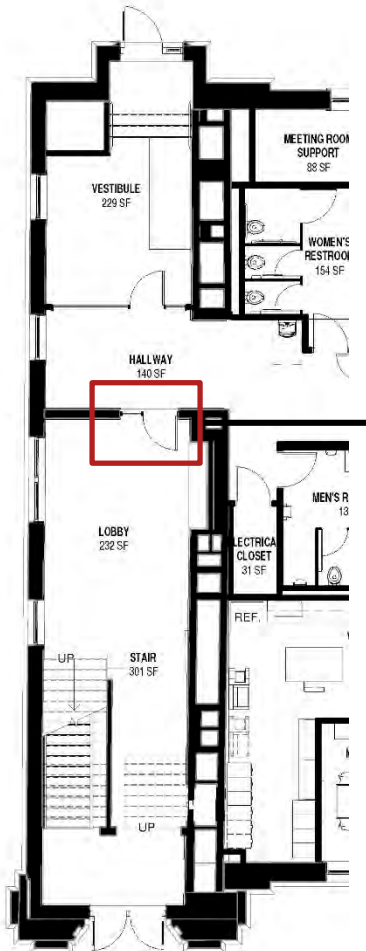
HANDRAILS / GUARDRAILS



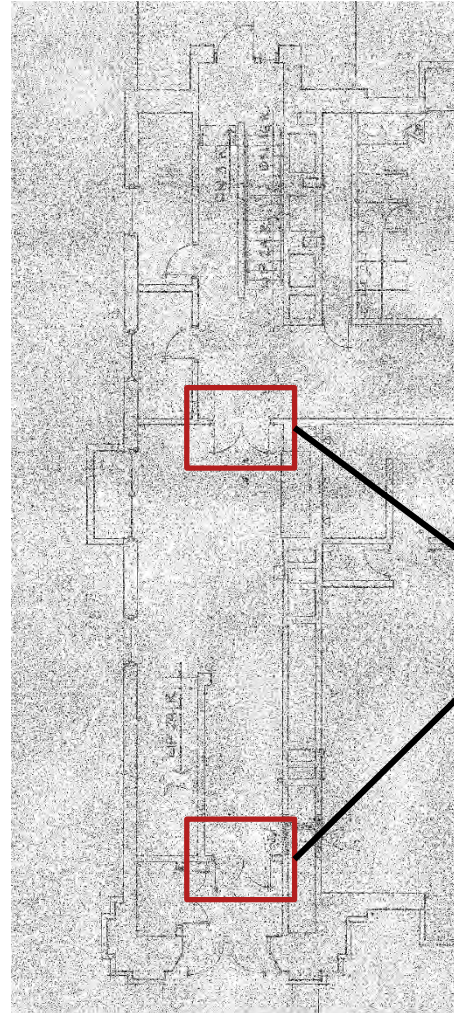
HANDRAILS / GUARDRAILS



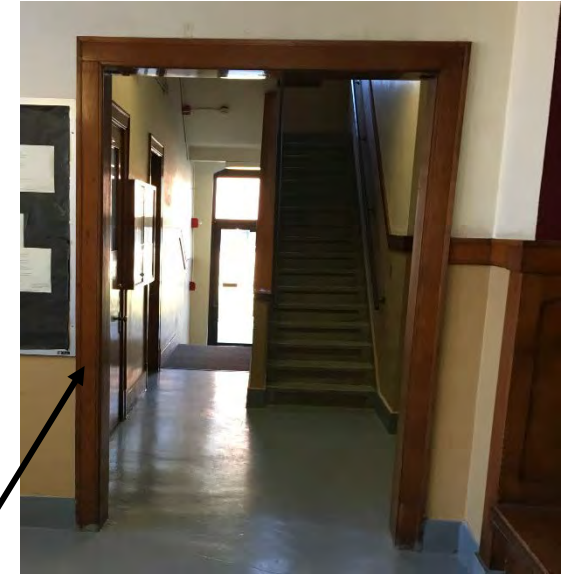
FIRST FLOOR DOORS



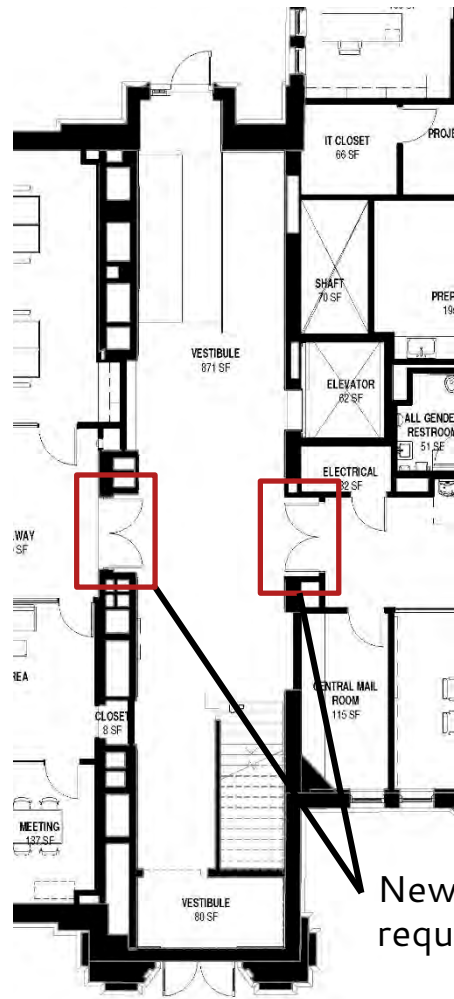
New code required 2 hour rated door



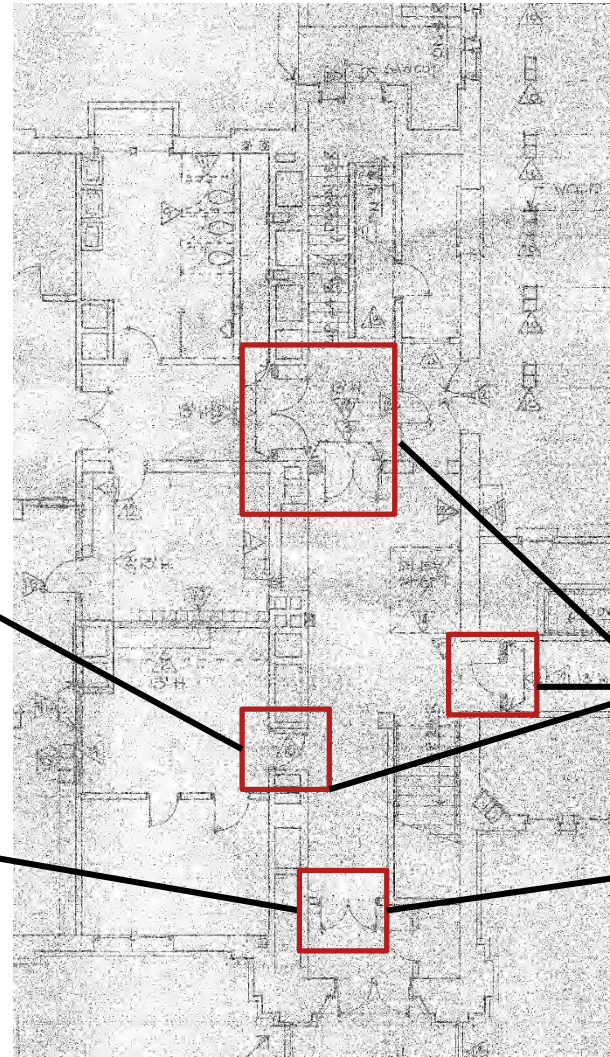
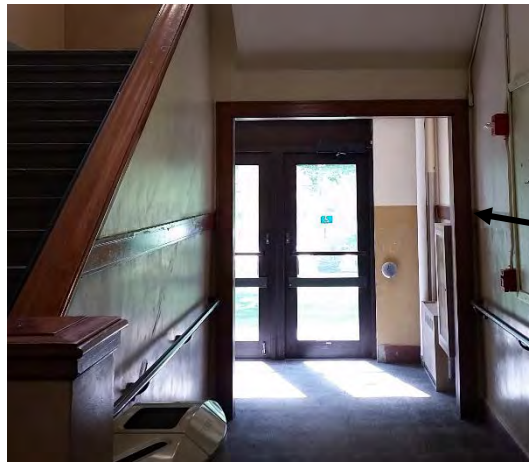
Doors no longer exist



FIRST FLOOR DOORS



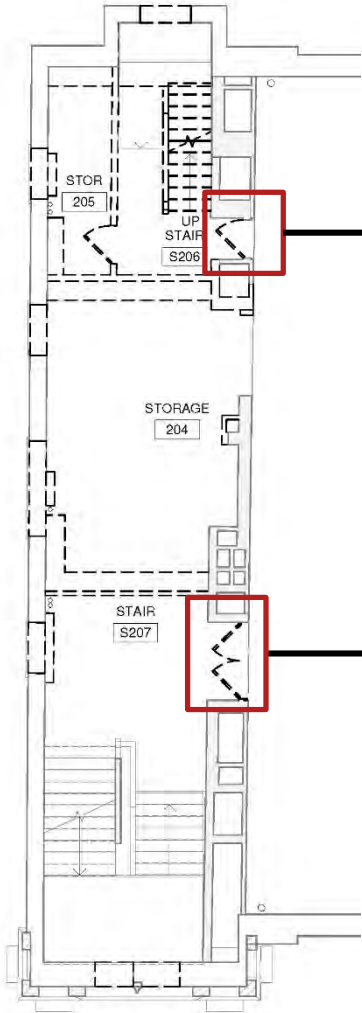
New code required doors



Doors removed during 1978 ADA remodel

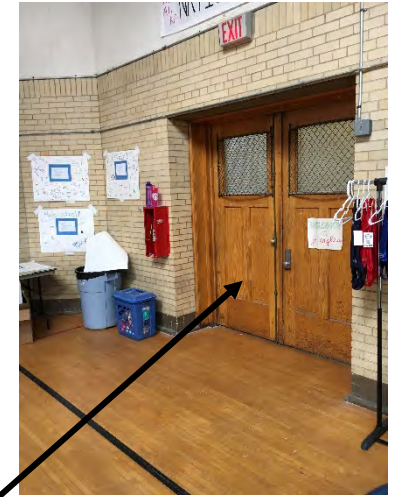
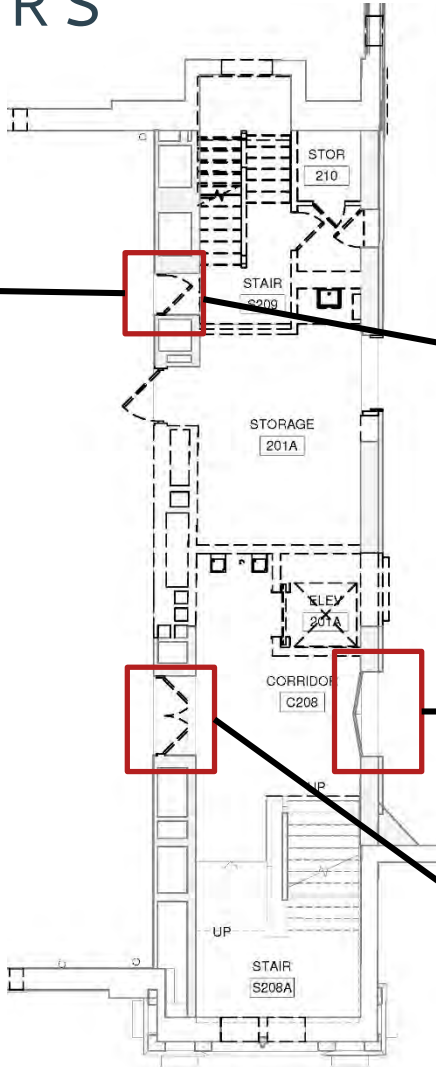
Doors no longer exist

SECOND FLOOR DOORS



Existing original doors, do they need to be kept?

Doors must be replaced with code required 2 hour rated doors

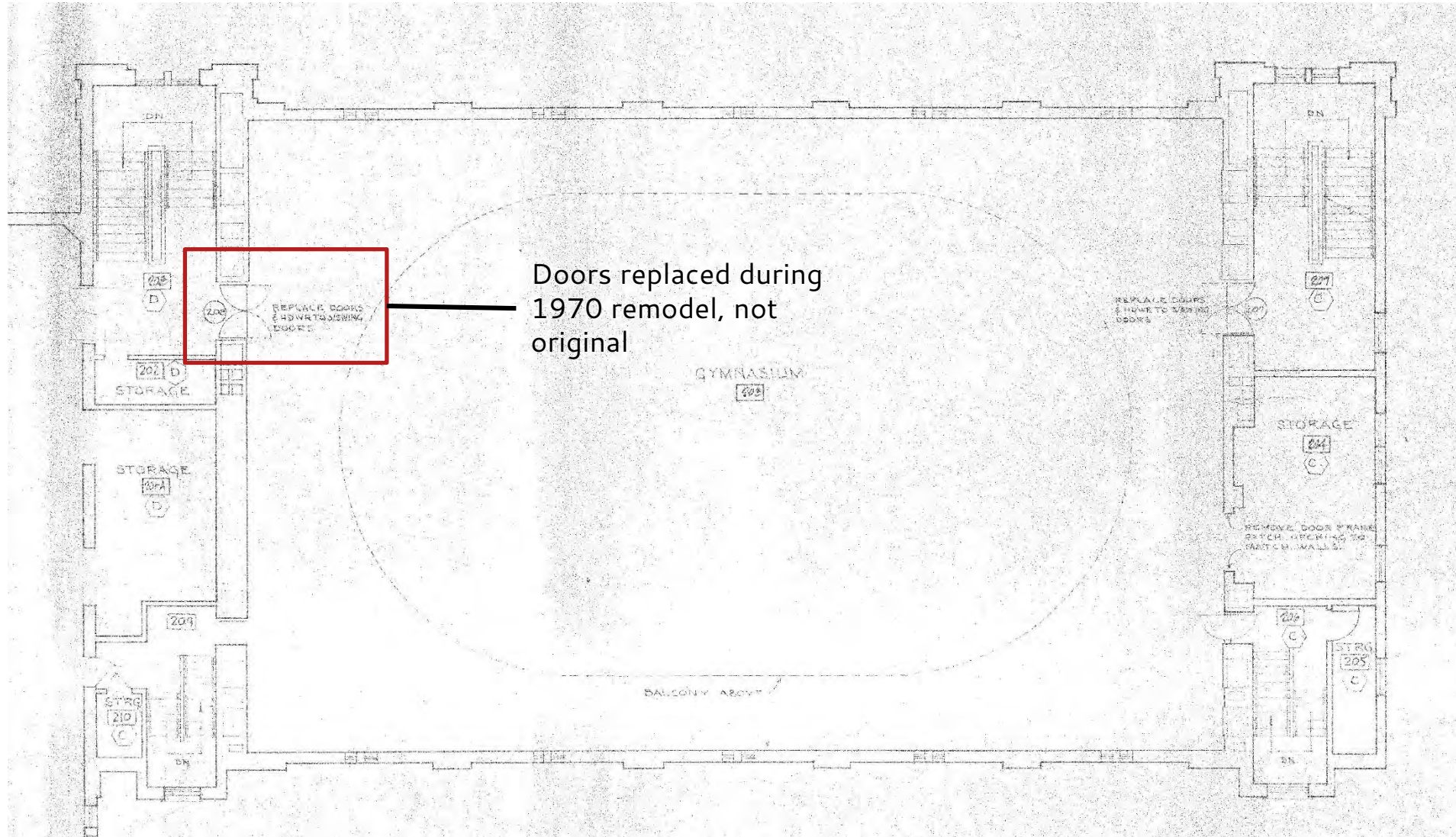


Original Doors to remain, pinned in place

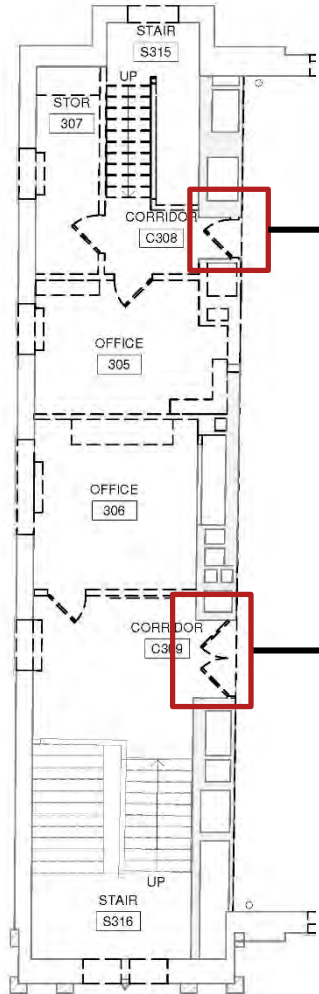
Doors replaced during 1970 remodel, not original



1970 REMODEL SECOND FLOOR

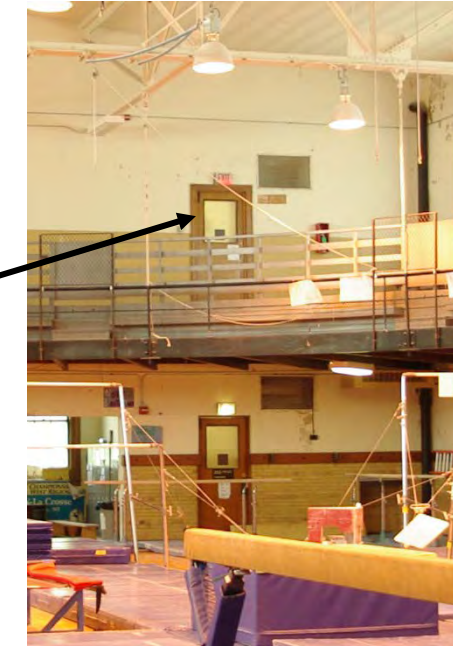
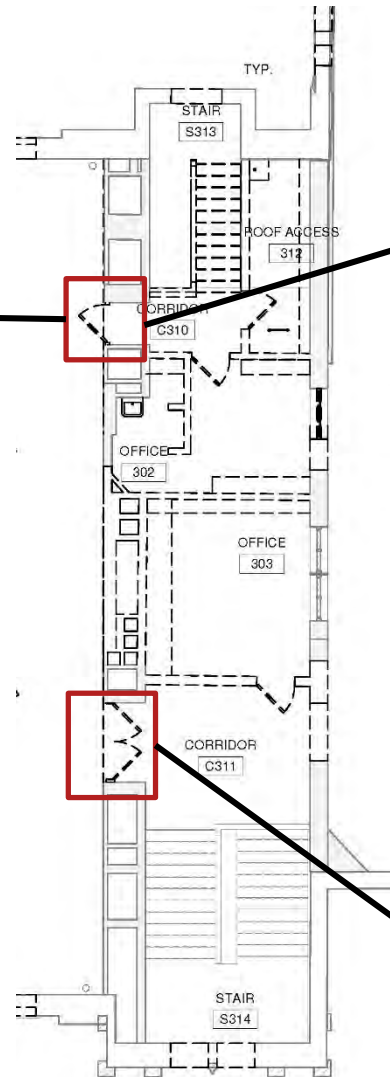


THIRD FLOOR DOORS



Existing original doors, do they need to be kept?

Doors must be replaced with code required 2 hour rated doors



Doors replaced during 1970 remodel, not original



ARO EBERLE
ARCHITECTS

WITTICH HALL



STRUCTURE



**PINWHEEL
TILE**





POOL TILE





WOOD FLOORS





WOOD MILLWORK



BRICK





TEXTURED GLASS

X



PLASTER



FINISH PREVIEW